

## GENERAL NOTES

- ALL MATERIALS AND WORK PRACTICES SHALL COMPLY WITH, BUT NOT LIMITED TO THE BUILDING REGULATIONS 2018, THE BUILDING CODE OF AUSTRALIA, LOCAL BY-LAWS, TOWN PLANNING REQUIREMENTS AND ALL RELEVANT CURRENT AUSTRALIAN STANDARDS AND NCC 2019.
  - DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
  - THE UNIT OF MEASUREMENT FOR THE PURPOSE OF THESE GENERAL AND SPECIFICATION NOTES SHALL BE MILLIMETERS, UNLESS OTHERWISE NOTED.
  - THE OWNER, BUILDER AND/OR SUB-CONTRACTORS SHALL VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND ANY SPECIFICATIONS PRIOR TO COMMENCING ANY WORKS OR ORDERING MATERIALS AND SHALL BE RESPONSIBLE FOR ENSURING THAT ALL BUILDING WORKS CONFORM TO THE BUILDING CODE OF AUSTRALIA, AUSTRALIAN STANDARD (CURRENT EDITIONS), BUILDING REGULATIONS, LOCAL BY-LAWS AND RESCODE REQUIREMENTS. REPORT ALL DISCREPANCIES TO THIS OFFICE FOR CLARIFICATION.
- ALL WORKS SHALL COMPLY WITH (BUT NOT BE LIMITED TO) THE FOLLOWING AUSTRALIAN STANDARDS INCLUDING ANY AMENDMENTS:
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ANY RELEVANT/CURRENT TOWN PLANNING PERMITS.
  - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL AND ALL OTHER CONSULTANTS DRAWINGS/DETAILS/COMPUTATIONS AND WITH ANY OTHER WRITTEN INSTRUCTIONS ISSUED IN THE COURSE OF THE CONTRACT. STRUCTURAL AND CIVIL DESIGNS WILL TAKE PRECEDENCE OVER THESE DRAWINGS.
  - ALL DRAWINGS DENOTED WITH "DRAFT" OR "PRELIMINARY" ARE STRICTLY ONLY FOR USE BETWEEN THIS OFFICE AND THE CLIENT. THESE DRAWINGS ARE NOT FOR PERMIT APPROVAL, QUOTATION OR TO BE USED BY BUILDERS.
  - WORKING DRAWINGS TO BE READ IN CONJUNCTION WITH ENGINEERS DRAWINGS, SPECIFICATIONS AND COMPUTATIONS AND ALL OTHER DOCUMENTATION PROVIDED.
  - THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE SOIL REPORT. FOOTINGS ARE TO BE FOUNDED AT THE MINIMUM DEPTHS INDICATED IN THE SOIL REPORT.
  - THE OWNER AND BUILDER SHALL ENSURE HE/SHE HAS OBTAINED, SIGHTED AND FAMILIARISED THEMSELVES WITH THE FOLLOWING DOCUMENTS, PRIOR TO COMMENCEMENT OF WORKS - TITLE, REESTABLISHMENT AND FEATURE SURVEY TO AHD - GEOTECHNICAL REPORT - CIVIL DESIGN AND COMPUTATIONS AND/OR DRAWINGS - STRUCTURAL DESIGN AND COMPUTATIONS AND/OR DRAWINGS - RELEVANT ASSOCIATED PLANNING PERMIT AND ENDORSED DRAWINGS - BUILD OVER EASEMENT PERMITS - LOCAL COUNCIL & RELEVANT AUTHORITIES - THERMAL PERFORMANCE ASSESSMENT - CROSSEVER PERMIT - LEGAL POINT OF DISCHARGE - RELEVANT DIAL BEFORE YOU DIG INFORMATION FOR PROPERTY SERVICES INCLUDING WATER, SEWER, ELECTRICITY, GAS, AND TELECOMMUNICATIONS. INSTALLATION OF ALL SERVICES SHALL COMPLY WITH THE RESPECTIVE SUPPLY AUTHORITY REQUIREMENTS.
  - GLAZING: -ALL GLAZING MUST COMPLY WITH AS.1288 -ALL GLAZING MUST BE INSTALLED TO COMPLY WITH AS.1288 ALL GLAZING INCLUDING SAFETY GLAZING SHALL BE INSTALLED TO A SIZE, TYPE AND THICKNESS SO AS TO COMPLY WITH: -BCA PART 3.6 FOR CLASS 1 AND 10 BUILDINGS WITHIN A DESIGN WIND SPEED OF NOT MORE THAN N3, AND BCA PART B1.4 FOR CLASS 2-9 BUILDINGS. -WINDOW SIZES TO BE VERIFIED ON SITE PRIOR TO ORDERING. -WINDOW MEASUREMENT INDICATED MAY VARY FROM MANUFACTURERS SIZES. BUILDER TO PLACE ORDER WITH SELECTED WINDOW MANUFACTURER BASED ON MANUFACTURERS SIZES WITHIN CLOSE PROXIMITY OF THE SCHEDULED SIZE. SAFETY GLAZING IS TO BE USED IN THE FOLLOWING CASES:

-ALL ROOMS WITHIN 500MM VERTICAL OF THE FFL. -BATHROOMS & ENSUITE, WITHIN 2000MM VERTICAL OF FFL. -LAUNDRY WITHIN 1200MM VERTICAL OF FLOOR AND/OR WITHIN 300MM HORIZONTAL FROM ANY DOORS. -SIDELIGHTS WITHIN 300MM HORIZONTAL FROM DOORS AND WITHIN 1200MM FROM FFL -DOORS WITHIN 1200MM VERTICAL OF FLOOR -SHOWER SCREENS SHALL BE GRADE A SAFETY GLASS.

ALL GLAZING SPECIFICATIONS TO BE IN ACCORDANCE WITH THE APPROVED THERMAL ASSESSMENT. BUILDER TO CONFIRM WINDOW SPECIFICATION PRIOR TO PLACING ORDER WITH MANUFACTURER.

13. DOWNPIPE LOCATIONS ON THESE DRAWINGS ARE A GUIDE ONLY. DOWNPIPES TO SERVE A MAXIMUM OF 12 METRES OF GUTTER AND TO BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS. IF THE DOWNPIPE IS MORE THAN 1.2M FROM A VALLEY, PROVISION FOR OVERFLOW MUST BE MADE TO THE GUTTER.

## STRUCTURAL REQUIREMENTS

-NO FOOTINGS ARE TO ENCROACH TITLE BOUNDARIES AND EASEMENT LINES. ALL CONCRETE FOOTINGS AND FOUNDATION WORK MUST BE IN ACCORDANCE WITH AS.2870, AND MUST BE READ STRICTLY IN CONJUNCTION WITH THE RELEVANT SOIL REPORT AND ENGINEERING DOCUMENTATION PROVIDED. CONCRETE WORKS MUST COMPLY WITH THE ENGINEERS DOCUMENTATION, AND BE IN ACCORDANCE WITH AS.3600. -ALL MASONRY CONSTRUCTION TO COMPLY WITH AS.3700 AND THE BUILDING CODE OF AUSTRALIA. -ALL DAMP PROOF COURSES AND FLASHINGS MUST BE IN ACCORDANCE WITH AS.2904. -STRUCTURAL STEEL WORK MUST BE IN ACCORDANCE WITH AS.4100. -ALL TIMBER FRAMING MUST BE IN ACCORDANCE WITH AS.1684. PROVIDE DOUBLE STUDS TO ALL OPENINGS GREATER THEN 1500mm. -PROVIDE BRACING TO ALL INTERNAL AND EXTERNAL WALLS AS PER AS.1684. SUB- FLOOR VENTS TO PROVIDE A RATE OF 7500mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF EXTERNAL MASONRY WALL AND 22000mm Sq. CLEAR VENTILLATION PER 1000mm RUN OF INTERNAL DWARF WALLS. ALL SUB-FLOOR PLYNTH BOARDS TO BE LOCATED BELOW THE LEVEL OF THE BEARER.

1. IF ANY GIRDER TRUSSES ARE LOCATED DIRECTLY ON ANY LINTELS THE TRUSS MANUFACTURER AND / OR BUILDER IS TO REFER TO THE ENGINEER TO CONFIRM IF LINTEL AND SUPPORTING STUDS ARE ADEQUATE. STEEL LINTELS FOR BRICKWORK TO ENGINEERS COMPUTATIONS AND/OR DRAWINGS.

2. FOR CLASS 1a BUILDINGS SMOKE ALARMS ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH CURRENT RELEVANT AUSTRALIAN STANDARD AND BCA. THE SMOKE ALARMS SHALL BE HARD-WIRED WITH A BATTERY BACK-UP. SMOKE ALARMS MUST BE INSTALLED ON OR NEAR THE CEILING IN -ANY STOREY CONTAINING BEDROOMS BETWEEN EACH AREA CONTAINING BEDROOMS AND THE REMAINDER OF THE DWELLING -IN HALLWAYS SERVING BEDROOMS -IN ANY OTHER STOREY NOT CONTAINING BEDROOMS FOR ALL OTHER CLASSES OF BUILDINGS REFER TO CURRENT RELEVANT AUSTRALIAN STANDARD AND BCA.

(SA) DENOTES THE LOCATION OF SMOKE ALARMS. THESE ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS.3786. THE SMOKE ALARM SHALL BE HARD WIRED WITH A BATTERY BACK-UP.

## DRAINAGE & SITE MAINTENANCE REQUIREMENTS

SURFACE AND SUBSURFACE WATER SHOULD BE DIVERTED FROM THE PERIMETER OF THE STRUCTURE. GROUND SURFACES SHOULD BE GRADED AWAY FROM THE PERIMETER OF FOOTINGS AT A MINIMUM OF 1:10 (V:H) OR IMPERMEABLE PAVING INSTALLED TO LIMIT THE BUILD UP OF WATER AROUND FOOTINGS

## BAL 12.5(BUSHFIRE ATTACK LEVEL)

CLASSIFICATION=BUSHFRE ATTACK LEVEL TO BE DETERMINED BY BUSHFIRE ASSESSMENT REPORT, BAL RATING OF 12.5 (BUSHFIRE ATTACK LEVEL)

BAL LEVEL & REQUIREMENTS TO BE INCORPORATED ONTO PLANS (WHERE REQUIRED)

**SUMMARY OF AS 3959 BAL CONSTRUCTION REQUIREMENTS:** THE FOLLOWING IDENTIFIES THE PRIMARY CONSTRUCTION REQUIREMENTS OF BAL-12.5 INCLUDING THE RELEVANT PARTS OF THE NSW VARIATION.

EXTERNAL WALL COVERING TO BE NON-COMBUSTIBLE OR COMPLYING TIMBER SPECIES WITHIN 400MM OF SURFACE LEVEL. ALL JOINTS ARE TO BE LESS THAN 3 MM AND VENTS TO BE SCREENED.

**OPENABLE PORTIONS OF WINDOWS** SCREENED WITH ALUMINIUM, STEEL OR BRONZE FLY SCREEN. ALL GLAZING GREATER THAN 400 MM FROM THE GROUND, DECK ETC. SHALL BE ANNEALED GLASS WITHIN METAL FRAMES (OR COMPLYING TIMBER). LESS THAN 400 MM FROM GROUND, DECKS ETC. SHALL BE GRADE A SAFETY GLASS MINIMUM 4MM THICK.

**DOORS** HAVE SIMILAR REQUIREMENTS TO WINDOWS IN REGARDS TO FRAMES AND GLAZING. SCREENING NOT REQUIRED.

**ROOF MATERIAL** TO BE A NON-COMBUSTIBLE AND FULLY SARKED. ALL JOINS TO BE SEALED AND ROOF PENETRATIONS TO BE SCREENED TO PREVENT THE ENTRY OF EMBERS.

**SITTING - RESCODE PART 4 OF BUILDING REGULATIONS 2018 (WHERE APPLICABLE & TOWN PLANNING HAS NOT CONSIDERED PERSUANT TO CLAUSE 54 OR 55)**

**REG 73. MAXIMUM STREET SETBACK-**

**REG 74. MINIMUM STREET SETBACK-**

**REG 75. BUILDING HEIGHT/OVERALL BUILDING HEIGHTS-**

**REG 76.SITE COVERAGE** - CONFIRM SITE COVERAGE OF THE ALLOTMENT AS NOT EXCEEDING 60% OF THE ALLOTMENT.

**REG 77. PERMEABILITY** - CONFIRM THE ALLOTMENT WILL ACHIEVE 20% PERMEABLE AREA. OUR CALCULATION OF THE SITE AREA AND PERMEABLE AREA INDICATES THAT A PERMEABLE AREA OF 0149.12M<sup>2</sup> WOULD BE REQUIRED.

**REG 79 SIDE AND REAR SETBACKS-**

**REG 80 - WALLS ON BOUNDARIES-**

**REG 86 - PRIVATE OPEN SPACE-**

**REG 89 - FRONT FENCE HEIGHT-**

**REG 82 SOLAR ACCESS TO EXISTING NORTH-FACING HABITABLE ROOM WINDOWS-** (BUILDING HEIGHT MORE THEN 3.6M BUT NOT MORE THEN 6.9 = MINIMUM SETBACK OF 1000MM PLUS AN ADDITIONAL DISTANCE CALCULATED AT THE RATE OF 300MM FOR EVERY METER OG HEIGHT ABOVE 3.6M)

**REG 83 - OVERSHADOWING OF SECLUDED PRIVATE OPEN SPACE** - PROVIDE SHADOW DIAGRAMS FOR THE HOURS OF 9.00 A.M. AND 3.00 P.M ON THE 22ND SEPTEMBER AS REQUIRED BY REGULATION 418

**REGULATION 233 - (WHERE APPLICABLE)**

THE PROPOSED ALTERATIONS REPRESENT MORE THAN HALF THE ORIGINAL VOLUME OF THE BUILDING AND PURSUANT TO BUILDING REGULATION 608, THE ENTIRE BUILDING MUST BE BROUGHT INTO CONFORMITY WITH BUILDING REGULATIONS 2006. PRACTICAL IMPROVEMENTS ARE TO BE MADE TO THE EXISTING PART OF THE DWELLING ON THE FOLLOWING:


- DOWNPIPES
- SMOKE ALARMS
- LIGHT AND NATURAL VENTILATION
- WET AREAS
- SELF-CLOSING EXHAUST FANS
- ROOF INSULATION
- SUB-FLOOR VENTILATION/INSULATION
- ENERGY EFFICIENCY - SEAL ALL GAPS AND CRACKS, WEATHER STRIP ALL EXTERNAL DOORS AND WINDOWS ETC.

**REG 85 DAYLIGHT TO NEW HABITABLE ROOM WINDOWS-** (1) A HABITABLE ROOM WINDOW OF A BUILDING ON AN ALLOTMENT MUST FACE-(A) AN OUTDOOR SPACE OR LIGHT COURT WITH A MINIMUM AREA OF 3M<sup>2</sup> AND A MINIMUM DIMENSION OF 1M CLEAR TO THE SKY, NOT INCLUDING LAND ON AN ADJOINING ALLOTMENT; OR (B) A VERANDAH ON THE ALLOTMENT IF IT IS OPEN FOR AT LEAST ONE THIRD OF ITS PERIMETER; OR (C) A CARPORT ON THE ALLOTMENT IF - (I) IT HAS 2 OR MORE SIDES OPEN; AND (II) IT IS OPEN FOR AT LEAST ONE THIRD OF ITS PERIMETER. (2) FOR THE PURPOSES OF SUB-REGULATION (1), A SIDE OF A CARPORT OR VERANDAH MAY BE TAKEN TO BE OPEN IF THE ROOF COVERING OF THE CARPORT OR VERANDAH ADJACENT TO THAT SIDE IS NOT LESS THAN 500MM FROM ANOTHER BUILDING ON THE ALLOTMENT OR THE ADJOINING ALLOTMENT BOUNDARY.

**REG 86 PRIVATE OPEN SPACE** - THE DWELLING IS TO BE SHOWN TO HAVE AN AREA AT THE SIDE OR REAR OF THE BUILDING THAT IS AT LEAST 25M<sup>2</sup> WITH A MINIMUM DIMENSION OF 3M AND THE AREA HAS CONVENIENT ACCESS FROM A HABITABLE ROOM (OTHER THEN A BEDROOM)

**REG 95 FENCES AND SOLAR ACCESS TO EXISTING NORTH -FACING HABITABLE ROOM WINDOWS-**

**REG 96 FENCES AND OVERSHADOWING OF RECREATIONAL PRIVATE OPEN SPACE.**

 <p><b>CAD DESIGN AUSTRALIA</b></p> <p>Web: www.caddesignaustralia.com.au Em: info@caddesignaustralia.com.au Ph: 0405 412 027 / 0404 256 757</p>	<p>PROJECT: <b>SIDE BY SIDE DOUBLE STOREY TOWNHOUSES</b></p>	<p>These Drawing must not be scaled.</p> <p>Figured Dimensions take precedence</p> <p>It is the builders and all sub-contractor responsibilities to verify all dimensions levels and existing condition on site prior to commencement of any works and ordering of materials.</p> <p>Any discrepancies are to be reported to this office immediately.</p>	<p>These drawings shall not be altered in any form without the written permission from CDA.</p> <p>Copyright on these drawings and associated documentation is owned by CDA.</p> <p>Reproduction in part or in whole of these drawings and associated documentation without the permission of CDA will constitute an infringement of Copyright. Remedies for infringement of Copyright will be taken in accordance with the provision of the Copyright Act 1968.</p>	<p>DATE CREATED: <b>13-12-2021</b></p>	<p>DRAWING TYPE: <b>WORKING DRAWINGS</b></p>
	<p>ADDRESS: <b>13 Kingsley Grove Mount Waverley</b></p>	<p>DATE REVISED:</p>	<p>REVISED ITEM</p>	<p>SCALE <b>1 : 20 @ A3</b></p>	
	<p>CLIENTS: <b>Mr.Manjeet Singh &amp; Mrs. Karishma Daswani</b></p>	<p>SHEET NAME: <b>GENERAL NOTE</b></p>	<p>JOB NO:</p>	<p>SHEET NO: <b>01 of 25</b></p>	

**IMPORTANT NOTE**

ALL FINISHED FLOOR LEVELS ARE TO BE CLARIFIED ON SITE BY BUILDER / CLIENTS & CONFIRMED STRICTLY PRIOR TO CONSTRUCTION.

**IMPORTANT NOTE**

WHILST ALL DUE CARE HAS BEEN TAKEN IN THE PREPERATION OF THESE DESIGNS / DRAWINGS, IN THE EVENT THAT ANY DISCREPANCIES MAY ARISE, ALL WORKS SHALL CEASE IMMEDIATELY & REPORTED TO DESIGNER PROJECTS FOR CLARIFICATIONS.

**IMPORTANT NOTE**

PRIOR TO COMMENCEMENT OF CONSTRUCTION LOCATION OF TITLE BOUNDARY IS BASED ON THE ASSUMPTION THAT EXISTING FENCES & OR SURVEY PEGS ARE IN ACCORDANCE WITH THE LATEST TITLE / PLAN OF SUBDIVISION.

BUILDERS / CLIENTS RESPONSIBILITY TO DETERMINE & CLARIFY BOUNDARY LINES ARE TRUE & IN ACCORDANCE WITH THE LATEST TITLE / PLAN OF SUBDIVISION.

IF NOT IN ACCORDANCE WITH THE LATEST PLAN OF SUBDIVISION A RE-ESTABLISHMENT SURVEY MUST BE UNDERTAKEN & ALL RELEVANT PRACTITIONERS TO BE NOTIFIED AND VERIATION/S MUST BE MADE TO ALL RELEVANT DOCUMENTS.

**IMPORTANT TERMITE PROTECTION NOTE**

IF APPLICABLE TO THE SUBJECT SITE (CHECK PRIOR TO COMMENCEMENT)

A TERMITE BARRIER TO BE INSTALLED TO MINIMISE THE RISK OF TERMITE ATTACK TO PRIMARY BUILDING ELEMENTS IN ACCORDANCE WITH AS 3660.1. A DURABLE NOTICE MUST BE PERMANENTLY FIXED TO THE BUILDING IN A PERMANENT LOCATION, INDICATING THE FOLLOWING;

- THE METHOD OF TERMITE RISK MANAGEMENT
- THE DATE OF INSTALLATION OF THE SYSTEM
- WHERE CHEMICAL BARRIER IS USED, ITS LIFE EXPECTANCY AS LISTED ON THE NATIONAL REGISTRATION AUTHORITY LABEL
- THE INSTALLER'S OR MANUFACTURER'S RECOMMENDATIONS FOR THE SCOPE AND FREQUENCY OF FURTHER INSPECTIONS FOR TERMITE ACTIVITY.

**IMPORTANT NOTE**

- DP ● DENOTES APPROX DOWNPIPE POSITIONS MAXIMUM 12M SPACING
  - DP/SP ● DENOTES APPROX DOWNPIPE & SPREADER POSITIONS MAXIMUM 12M SPACING
  - RH ● DENOTES APPROX RAINWATER HEAD ONLY (NO DOWNPIPE) MAXIMUM 12M SPACING
  - DP/RH ● DENOTES APPROX DOWNPIPE WITH RAINWATER HEAD MAXIMUM 12M SPACING
- INSTALLATION OF BOX GUTTERS / GUTTERS / DOWNPIPES (ROOF PLUMBING) TO BE IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS & N.C.C.
- DOWNPIPE POSITIONS TO BE CONFIRMED ONSITE BY BUILDER / PLUMBER & OVERFLOWS TO BE PROVIDED TO RAINWATER HEADS IN ACCORDANCE WITH THE AUSTRALIAN STANDARDS & N.C.C.
- ALL STORMWATER DRAINS TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL.
- ANY NEW PROPOSED SEWER & WASTE OUTLETS TO BE CONNECTED TO EXISTING SEWERAGE LAYOUT TO THE RELEVANT AUTHORITIES APPROVAL.
- ALL STORMWATER DRAINS TO BE CONNECTED TO THE LEGAL POINT OF DISCHARGE TO THE RELEVANT AUTHORITIES APPROVAL MIN. 100MM DIA. CLASS 6 UPVC STORMWATER.
- LINE LAID TO A MINIMUM GRADE 1 IN 100 AND CONNECTED TO THE LEGAL POINT OF DISCHARGE.
- PROVIDE INSPECTION OPENING AT 900 MM C-C AND AT EACH CHANGE OF DIRECTION.

**IMPORTANT NOTE**

ANY CONCRETE PAVING ILLUSTRATED ON THESE DRAWINGS / PLANS ARE A GUIDE ONLY AND AT NO MEANS SHALL BUILDERS / CONTRACTORS RELY UPON THEM.

ALL CONCRETE PAVING CARRIED OUT BY BUILDER / OWNER / CONTRACTORS ARE TO BE IN FULL ACCORDANCE WITH THE LATEST AUSTRALIAN STANDARDS & NATIONAL CONSTRUCTION CODE OR ANY OTHER REGULATORY REQUIREMENTS THAT ARE RELEVANT & SHALL TAKE FULL RESPONSIBILITY TO COMPLY.

**IMPORTANT NOTE**

ALL SERVICES ARE INDICATIVE AND TO BE READ IN CONJUNCTION WITH THE RELEVANT AUTHORITIES INFO SUPPLIED. NO RESPONSIBILITY IS ACCEPTED BY THE AUTHOR FOR ANY AUTHORITIES ASSETS FOR SUCH USE AND / OR RELIANCE.

BUILDERS / SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFICATION ON ALL DIMENSIONS, LEVELS & CONDITIONS PREVAILING ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS OR ORDERING OF MATERIALS ANY DISCREPANCIES ARE REQUIRED TO BE REPORTED TO THE OFFICE IMMEDIATELY.

NO PART OF THE RETAINING WALL (INCLUDING AGRICULTURAL DRAIN) SHALL PROJECT BEYOND THE TITLE BOUNDARY LINE.

**IMPORTANT NOTE**

ALL PLUMBING WORK MUST BE CARRIED OUT IN ACCORDANCE TO THE CURRENT N.C.C. / PLUMBING CODE OF AUSTRALIA.

**IMPORTANT NOTE**

**SITE DRAINAGE REQUIREMENTS**

OWNER BUILDERS / BUILDERS / CONTRACTORS WILL TAKE FULL RESPONSIBILITY OF MAKING SURE THAT THE SITE SHOULD BE DRAINED SO THAT THE WATER CANNOT POND AGAIN/ NEAR THE BUILDING.

THE GROUND IMMEDIATELY ADJACENT TO THE BUILDING SHOULD BE GRADED TO FALL 50MM OVER THE FIRST 1M & BE IN FULL ACCORDANCE WITH THE N.C.C. (NATIONAL CONSTRUCTION CODES) & A.S. (AUSTRALIAN STANDARDS).

WHERE THIS IS IMPRACTICABLE (I.E. SEVERAL SLOPING SITES) USE A AGGIE DRAINS (MUST BE DESIGNED BY CIVIL ENGINEERS / SEEK IMMEDIATE ADVICE PRIOR TO COMMENCEMENT) ADJACENT TO FOOTINGS WHERE THE GROUND FALLS TOWARDS THE BUILDING.

PLEASE REFER TO CIVIL ENGINEERS PLAN / NOTES & SPECIFICATIONS FOR CLARIFICATION. IF NON, OWNER BUILDERS / BUILDERS / CONTRACTORS MUST OBTAIN THEIR OWN CIVIL ENGINEERING DESIGN & SPECIFICATIONS, OTHERWISE THEY WILL TAKE FULL RESPONSIBILITY IN MAKING SURE TO COMPLY TO THE AUSTRALIAN STANDARDS & THE NATIONAL CONSTRUCTION CODE (N.C.C) PRIOR TO COMMENCING OF ANY WORK.

**IMPORTANT NOTE**

PLUMBING RISES (TO BE POSITIONED ) IN AREAS WHERE NEEDED IN ORDER TO REMOVE EXCESS WATER & PREVENT WATER POND AGAINST / NEAR THE BUILDING. TO BE VERIFIED OUT ON SITE BY PLUMBER / OWNER & BUILDER PRIOR TO COMMENCEMENT OF ANY WORKS.

**IMPORTANT NOTE**

OWNER BUILDERS / BUILDERS / CONTRACTORS MUST BE AWARE & WILL TAKE FULL RESPONSIBILITY OF MAKING SURE THAT THEY HAVE A STRONG UNDERSTANDING OF THE AUSTRALIAN STANDARDS AND THE NATIONAL CONSTRUCTION CODE (N.C.C) PRIOR TO COMMENCEMENT OF ANY WORK, WHERE IN DOUBT PLEASE ASK FOR PROFESSIONAL ADVICE PRIOR. COMMENCEMENT OF CINSTRUCTION WILL CONFIRM THAT YOU WILL BE TAKING FULL RESPONSIBILITY IN MAKING CONSTRUCTION COMPLY TO THE AUSTRALIAN STANDARDS AND THE NATIONAL CONSTRUCTION CODE (N.C.C).

**IMPORTANT NOTE**

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE FOLLOWING BUT NOT LIMITED TO :

- ENGINEER'S / PLANS / COMPS
- SOIL REPORT & RECOMMENDATIONS
- DEVELOPERS GUIDELINES

REFER TO 'Geohub' CONTOUR PLANS FOR FURTHER INFO ON SITE LEVELS.

**ARTIFICIAL LIGHTING**

ARTIFICIAL LIGHTING MUST COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) PART 3.12.6.5 AS FOLLOES;

- 5W/m2 FOR HABITABLE SPACES IN A DWELLING
- 4W/m2 FOR BALCONIES AND VERANDAHS
- 3W/m2 FOR GARAGES AND CARPORTS

**EXHAUST FAN & SMOKE DETECTORS:**

☐ DENOTES EXHAUST FAN

EXHAUST DIRECTLY TO OUTSIDE THE BUILDING BY WAY OR DUCT; OR EXHAUST INTO THE VENTED EXTERNALLY.

TO BE INSTALLED IN ACCORDANCE TO N.C.C. /A.S REQUIREMENTS.

Ⓢ DENOTES SMOKE DETECTOR

TO BE HARD WIRED WITH BATTERY BACK UP AS PER N.C.C. / A.S REQUIREMENTS.

**WINDOWS RESTRICTIONS**

ALL PROPOSED HABITABLE ROOM WINDOWS ON THE FIRST FLOOR TO BE RESTRICTED TO 125MM OPENING & MUST COMPLY WITH THE LATEST AUSTRALIAN STANDARDS & IN ACCORDANCE WITH THE N.C.C.

**WATERPROOFING**

WET AREA WATERPROOFING & WATER RESISTANCE REQUIREMENTS.

PROVIDE IMPERVIOUS (WATERPROOF / WATER RESISTANCE SURFACES TO ALL WET AREAS IN ACCORDANCE WITH CLAUSE 3.8.1.2. OF THE BCA AND AS3740 TO ALL WET AREAS INCLUDING WALLS, FLOOR, SPLASHACKS, HOBBS ETC.

TREAT AREAS TO MINIMUM HEIGHT OF 150MM BEHIND SINKS, TROUGHS AND BASINS ETC AND ALSO TO A MINIMUM HEIGHT OF 1800MM ABOVE THE FLOORS OF SHOWERS OR BATHTUB AREAS.

**SLIP RESISTANT FOR STAIRS**

SLIP RESISTANT MATERIAL APPLIED TO ALL NEW STAIRS AND MUST BE INSTALLED WITH STRICT COMPLIANCE TO THE LATEST N.C.C PART 3.9.1 STAIR CONSTRUCTION TREAD SLIP RESISTANCE TO BE MINIMUM P3 TESTED UNDER AS 4586.

**STEP DOWNS**

A MINIMUM STEP DOWN OF 90mm TO ALL PORCH/VERANDAHS & OUTDOOR LIVING AREAS FROM F.F.L (FINISH FLOOR LEVEL).

**IMPORTANT NOTES:**

⊕ - DENOTES ARTICULATION JOINTS VERICAL ARTICULATION JOINTS WHERE LOCATED AT OPENINGS MUST BE IN FULL HEIGHTS & RUN CONTINUOUSLY & MUST BE PROVIDED IN ACCORDANCE WITH THE LATEST A.S. 4773 & N.C.C.

**ROOF LINING & FASCIAS**

ROOF LINING & FASCIAS TO BE OF A NON COMBUSTABLE MATERIAL & TO BE IN FULL ACCORDANCE WITH THE N.C.C VOL 2 PART 2.3 FIRE SAFETY.

**ARTIFICIAL LIGHTING**

ARTIFICIAL LIGHTING MUST COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) PART 3.12.6.5 AS FOLLOES;

- 5W/m2 FOR HABITABLE SPACES IN A DWELLING
- 4W/m2 FOR BALCONIES AND VERANDAHS
- 3W/m2 FOR GARAGES AND CARPORTS

**WINDOW SIZES**

- \*ALL GLAZING TO COMPLY WITH AS 1288
- \*THESE WINDOWS ARE TYPICAL SIZES ONLY & MAY VARY SLIGHTLY ACCORDING TO MANUFACTURERS STANDARD SIZES.
- \*ALL WINDOWS TO BE MEASURED & DETERMINED ON SITE BY BUILDER AND TO COMPLY WITH DEVELOPERS GUIDELINES (IF GUIDELINES APPLICABLE).
- \*ALL WINDOWS OVERALL HEIGHTS ARE @ 2100MM APPROX FROM FINISH FLOOR LEVEL OWNERS / BUILDERS MUST CONFIRM WITH WINDOW MANUFACTURERS & CARPENTER PRIOR TO COMMENCEMENT OF ANY WORK.

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PROJECT:  
**SIDE BY SIDE DOUBLE STOREY TOWNHOUSES**

ADDRESS:  
**13 Kingsley Grove Mount Waverley**






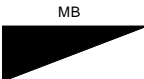







CLIENTS:  
**Mr.Manjeet Singh & Mrs. Karishma Daswani**

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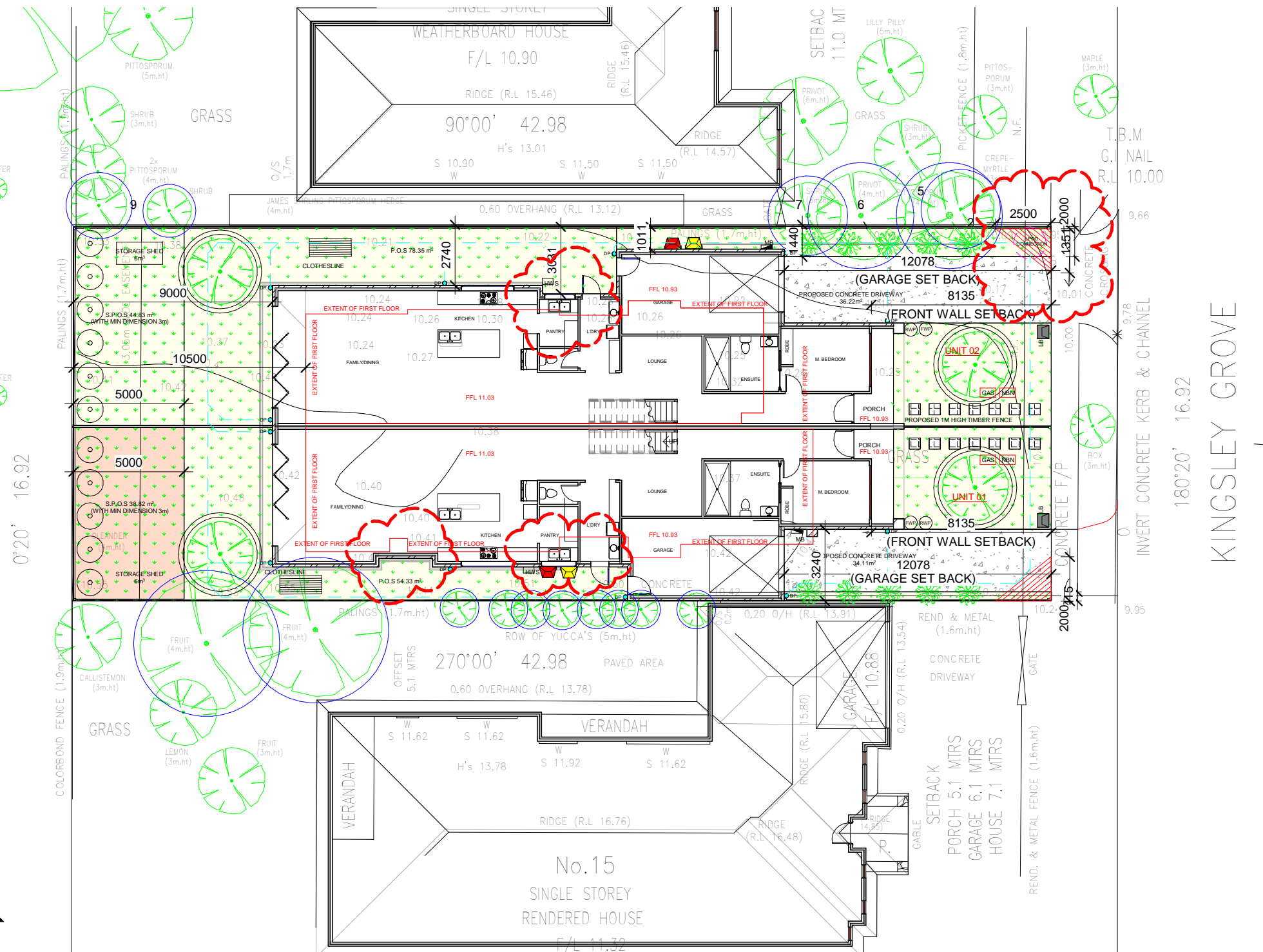
DATE CREATED:	13-12-2021	DRAWING TYPE:	WORKING DRAWINGS
DATE REVISED:	REVISED ITEM	SCALE	As indicated @A3
		SHEET NAME:	GENERAL NOTES
		JOB NO:	SHEET NO: 02 of 25

### LEGEND

-  DENOTES FRESH WATER POINT
-  DENOTES RECYCLED WATER POINT -IF AVAILABLE
-  DENOTES FRESH WATER TAPS
-  DENOTES FRESH RECYCLED WATER TAPS
-  NBN BOX
-  METER BOX
-  GAS BOX
-  LETTER BOX
-  GENERAL BINS
-  RETRACTABLE CLOTHESLINE
-  ELECTRIC PIT
-  PEGS LOCATION
-  PROPOSED 1.8M PALING FENCE LAPPED AND CAPPED WITH EXPRESSED POSTS

### SITE WORKS NOTES

- GENERAL**
- Written dimension take precedence over scale. DO NOT SCALE THE DRAWING.
  - This plans to be used in conjunction with engineering plans and other relevant documents during construction.
  - All building work is to be executed in a workmanlike manner in accordance with the latest issue of National Construction Code (NCC).
  - Materials must conform with the relevant building statutes.
  - All dimensions to be verified before commencement of any building work.
- EXCAVATION**
- Excavate footings and drains as shown. keep excavations dry and backfill with approved materials free of any building debris.
- STORM WATER**
- All storm water drains are to be connected to the Legal Point of Discharge.
  - DP denotes 100x50 Colourbond or galvanised downpipes at 12m centres.
  - All storm water drains to be 90mm min P.V.C., laid at a grade no less than 1:100.
- LEVELS**
- Design levels shown are arbitrary datum and are to be used as a guide only. Owner / builder to check and verify on site to any work done.
  - All levels on drawings are nominal only and may adjust due to site conditions up to 50mm either way.
- CONCRETE**
- All concrete footing and slab works shall comply with as 2870-2011 "RESIDENTIAL SLABS AND FOOTINGS" part 1: construction in the absence of engineer's drawings or computations.
- NOTE: LANDSCAPE COMPLIES AS PER BUILDING DESIGN GUIDELINES



SITE PLAN- GROUND FLOOR  
SCALE: 1:200

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PROJECT:  
SIDE BY SIDE DOUBLE STOREY TOWNHOUSES

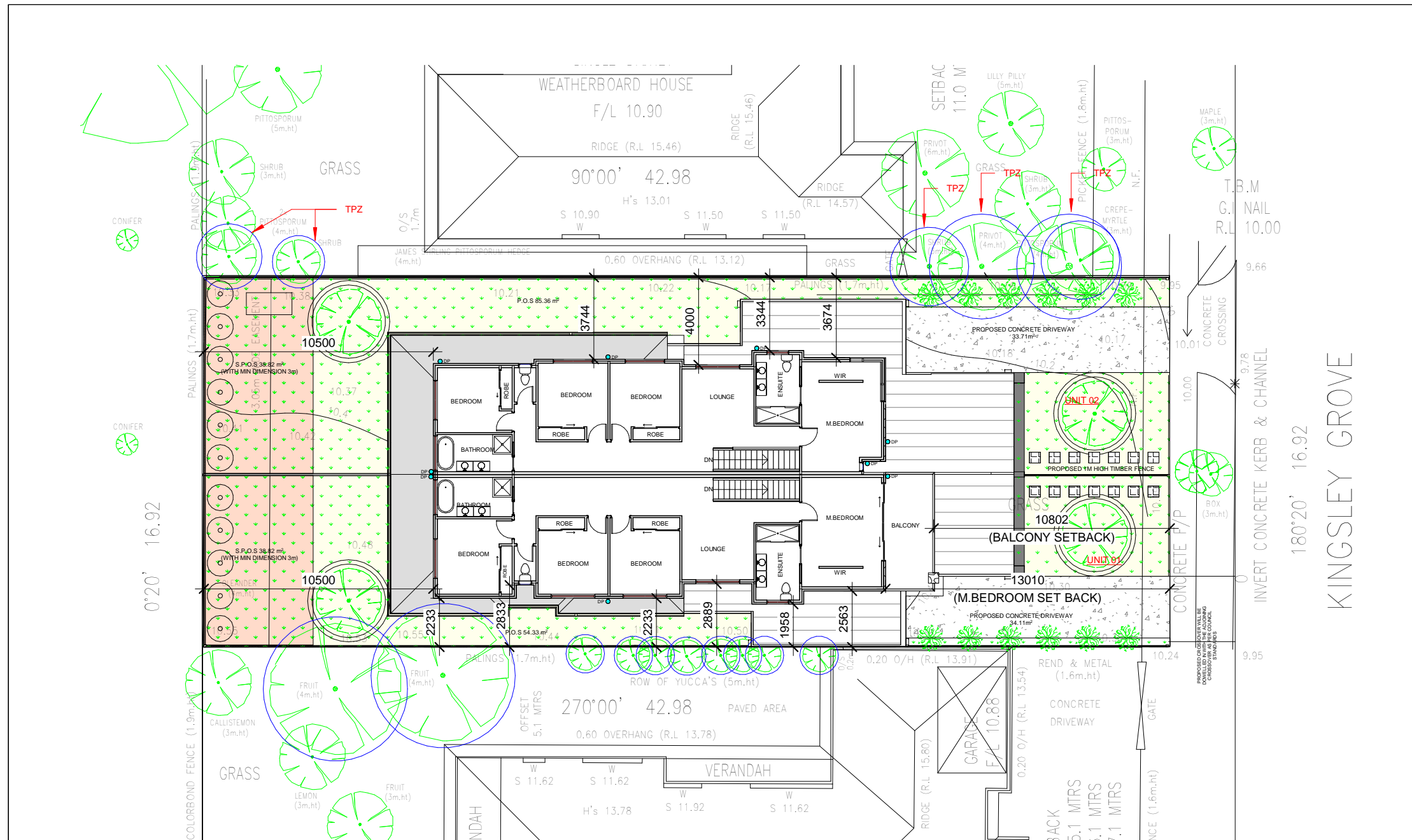
ADDRESS:  
13 Kingsley Grove Mount Waverley

CLIENTS:  
Mr.Manjeet Singh & Mrs. Karishma Daswani

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DATE REVISED:	REVISED ITEM	SCALE:	As indicated @A3
		SHEET NAME:	SITE PLAN GROUND FLOOR
JOB NO:	SHEET NO:		03 of 25



### LEGEND

- DENOTES FRESH WATER POINT
- DENOTES RECYCLED WATER POINT -IF AVAILABLE
- DENOTES FRESH WATER TAPS
- DENOTES FRESH RECYCLED WATER TAPS
- NBN BOX
- METER BOX
- GAS BOX
- LETTER BOX
- GENERAL BINS
- RETRACTABLE CLOTHESLINE
- ELECTRIC PIT
- PEGS LOCATION
- PROPOSED 1.8M PALING FENCE LAPPED AND CAPPED WITH EXPRESSED POSTS

### SITE WORKS NOTES

**GENERAL**

- Written dimension take precedence over scale. DO NOT SCALE THE DRAWING.
- This plans to be used in conjunction with engineering plans and other relevant documents during construction.
- All building work is to be executed in a workmanlike manner in accordance with the latest issue of National Construction Code (NCC).
- Materials must conform with the relevant building statutes.
- All dimensions to be verified before commencement of any building work.

**EXCAVATION**

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**STORM WATER**

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- DP denotes 100x50 Colourbond or galvanised downpipes at 12m centres.
- All storm water drains to be 90mm min P.V.C., laid at a grade no less than 1:100.

**LEVELS**

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**CONCRETE**

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NOTE: LANDSCAPE COMPLIES AS PER BUILDING DESIGN GUIDELINES



**SITE PLAN- FIRST FLOOR**  
SCALE: 1:200

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**PROJECT:**  
SIDE BY SIDE DOUBLE STOREY TOWNHOUSES

**ADDRESS:**  
13 Kingsley Grove Mount Waverley

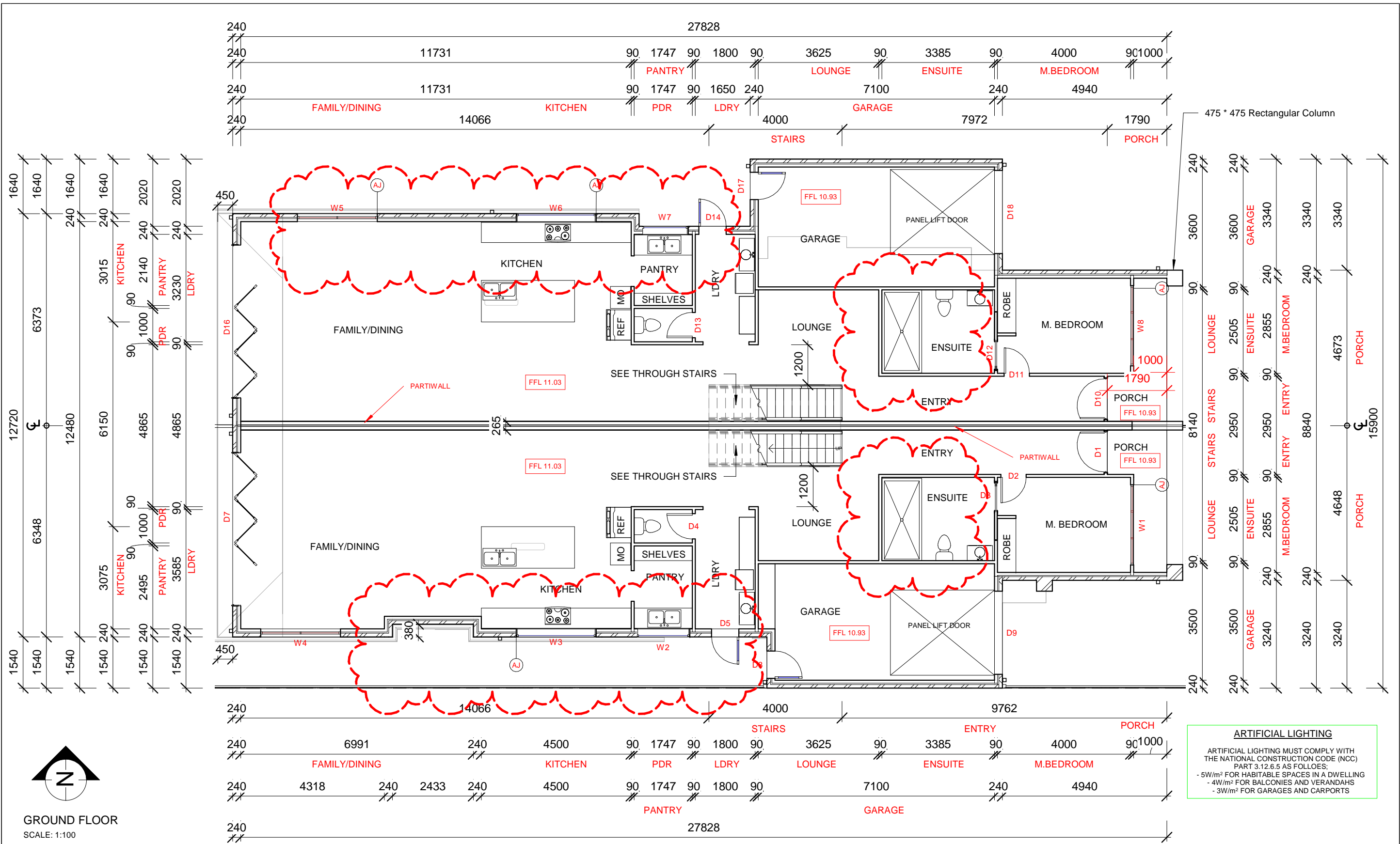
**CLIENTS:**  
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DATE REVISED:	REVISED ITEM	

DRAWING TYPE: WORKING DRAWINGS	
SCALE As indicated @A3	
SHEET NAME: SITE PLAN FIRST FLOOR	
JOB NO:	SHEET NO: 04 of 25



**ARTIFICIAL LIGHTING**  
 ARTIFICIAL LIGHTING MUST COMPLY WITH THE NATIONAL CONSTRUCTION CODE (NCC) PART 3.12.6.5 AS FOLLOWS:  
 - 5W/m<sup>2</sup> FOR HABITABLE SPACES IN A DWELLING  
 - 4W/m<sup>2</sup> FOR BALCONIES AND VERANDAHS  
 - 3W/m<sup>2</sup> FOR GARAGES AND CARPORTS

**GROUND FLOOR**  
 SCALE: 1:100

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PROJECT:  
**SIDE BY SIDE DOUBLE STOREY TOWNHOUSES**

ADDRESS:  
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CLIENTS:  
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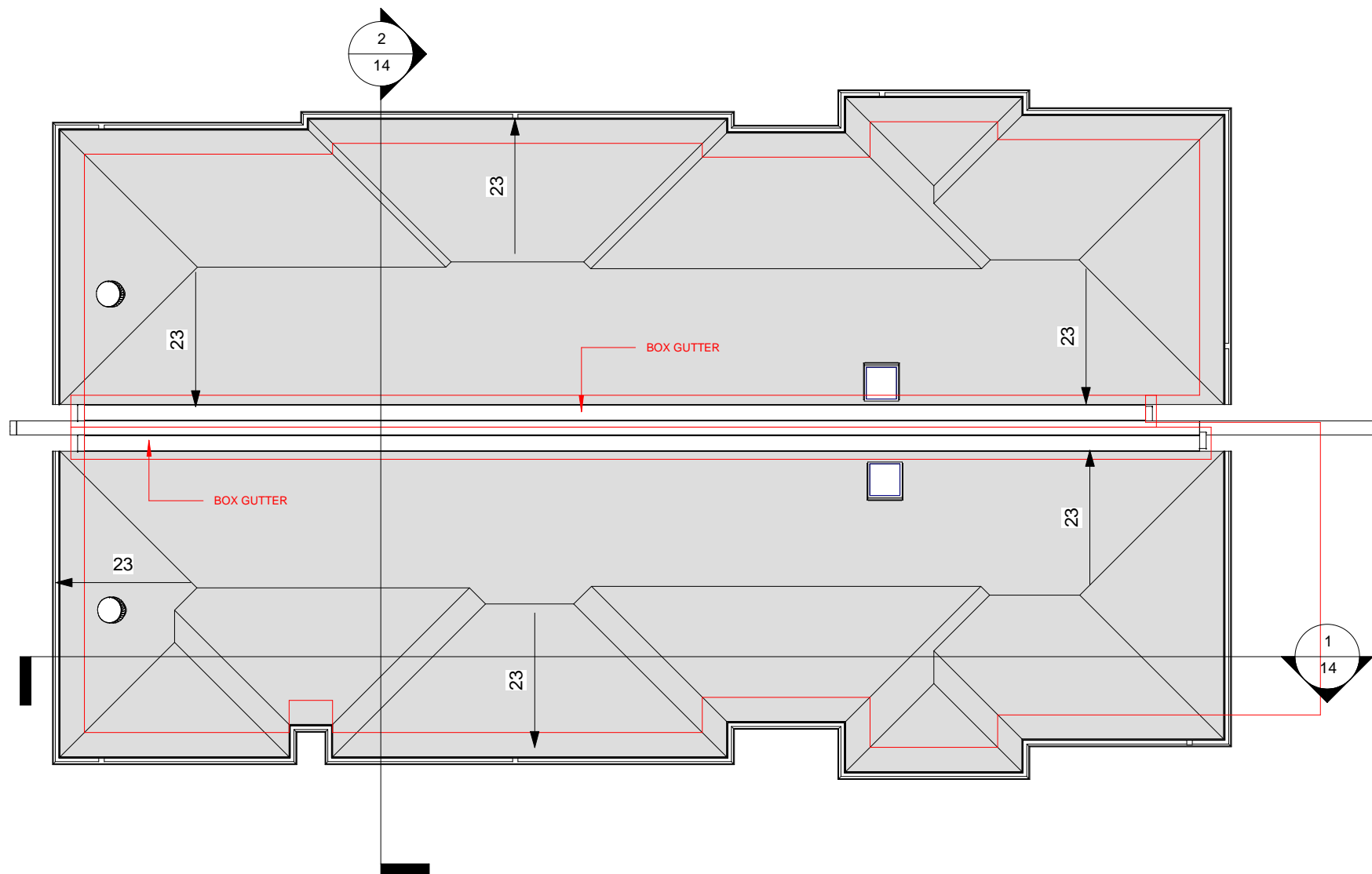
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DATE REVISED:	REVISED ITEM

DRAWING TYPE: <b>WORKING DRAWINGS</b>	
SCALE 1 : 100 @A3	
SHEET NAME: <b>GROUND FLOOR PLAN</b>	
JOB NO:	SHEET NO: 05 of 25





AREA SCHEDULE:	
<b>PROPOSED UNIT 01</b>	
GROUND FLOOR AREA:	147 m <sup>2</sup>
GARAGE:	27 m <sup>2</sup>
PORCH:	6 m <sup>2</sup>
TOTAL GROUND FLOOR AREA: /GROUND COVERAGE	180 m <sup>2</sup>
FIRST FLOOR AREA: BALCONY:	114 m <sup>2</sup> 13 m <sup>2</sup>
TOTAL FIRST FLOOR AREA:	127 m <sup>2</sup>
TOTAL FLOOR AREA:	307 m <sup>2</sup>
POS(REMAINING GARDEN AREA)	132.556 m <sup>2</sup>
<b>PROPOSED UNIT 02</b>	
GROUND FLOOR AREA:	146 m <sup>2</sup>
GARAGE:	29 m <sup>2</sup>
PORCH:	6 m <sup>2</sup>
TOTAL GROUND FLOOR AREA: /GROUND COVERAGE	181 m <sup>2</sup>
FIRST FLOOR AREA:	108 m <sup>2</sup>
TOTAL FLOOR AREA:	289 m <sup>2</sup>
POS(REMAINING GARDEN AREA)	178.359 m <sup>2</sup>
TOTAL GARDEN AREA:	310.915 m <sup>2</sup>
<b>SITE</b>	
SITE AREA:	743 m <sup>2</sup>
SITE COVERAGE:	48.5% 361 m <sup>2</sup>
UNIT 1 DRIVEWAY:	34.11 m <sup>2</sup>
UNIT 2 DRIVEWAY:	36.22 m <sup>2</sup>
UNIT 1 PAVERS:	1.75 m <sup>2</sup>
UNIT 2 PAVERS:	1.75 m <sup>2</sup>
TOTAL IMPERMIABLE AREA:	58.52% 434.83 m <sup>2</sup>
REMAINING PERMIABLE AREA:	310.915 m <sup>2</sup>
TOTAL SITE PERMIABILITY:	41.84% 310.915 m <sup>2</sup>



ROOF PLAN  
SCALE: 1:100

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PROJECT:  
SIDE BY SIDE DOUBLE STOREY TOWNHOUSES

ADDRESS:  
13 Kingsley Grove Mount Waverley

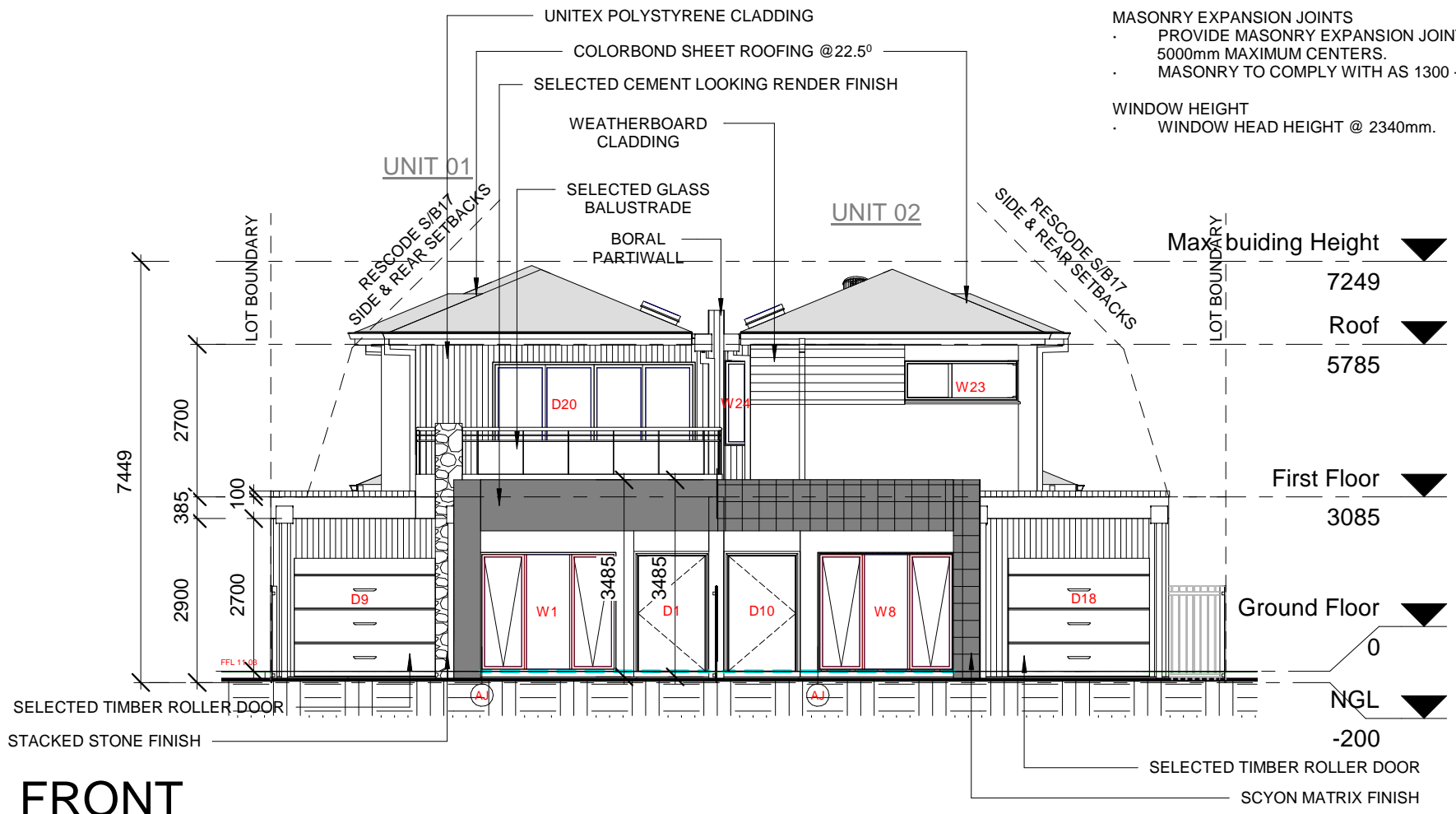
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DATE REVISED:	REVISED ITEM

DRAWING TYPE: WORKING DRAWINGS	
SCALE 1 : 100 @A3	
SHEET NAME: ROOF	
JOB NO:	SHEET NO: 07 of 25



NOTE:  
GLAZING IN FRONT ENTRY DOOR AND SIDE LIGHT WINDOWS MUST BE TRANSLUCENT.

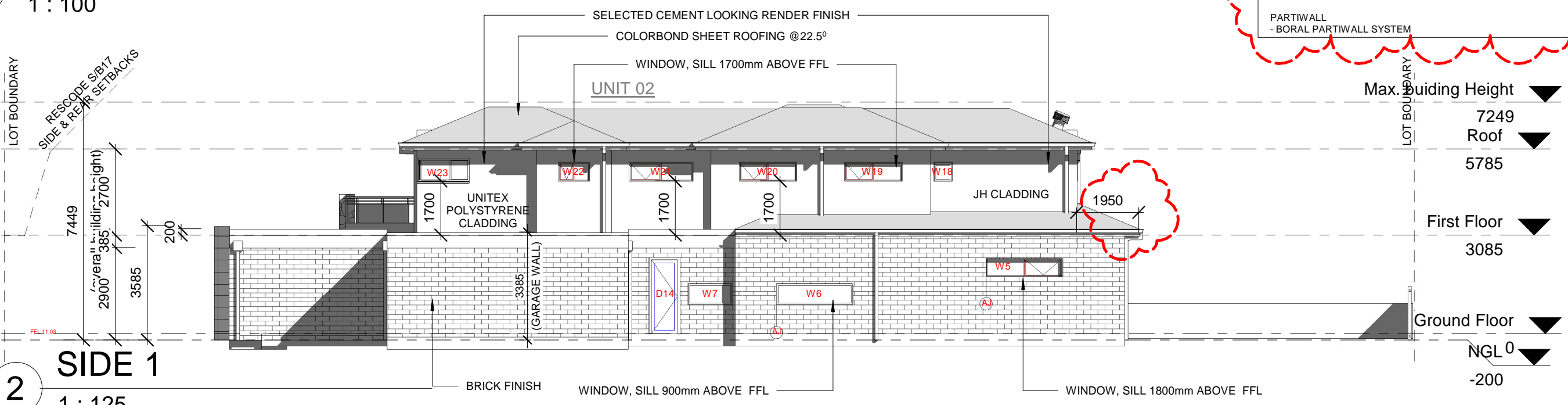
NOTE:  
ARTICULATION JOINT TO BE SPECIFIED BY THE ENGINEER.  
SMOKE DETECTORS TO BE INTERCONNECTED

NOTE:  
ALL WINDOWS MUST BE DOUBLE GLAZING TO COMPLY WITH AS 1288-2016. WINDOWS AND DOORS NOMINAL SIZES ONLY ACTUAL SIZE AND STYLE AS PER MANUFACTURER. SIZES TO BE CONFIRMED PRIOR TO ORDERING.

### COLOUR SPECIFICATION

COLORBOND ROOF - IRONSTONE	
GARAGE PANEL DOOR - TIMBER LOOK	
BRICKS - WELLBOURNE	
FASCIA, GUTTER, WINDOWS & METER BOX - JASPER	
FRONT DOOR TIMBER - MARBU	
CLADDING - UNITEX POLYSTYRENE CLADDING	
CLADDING - WEATHERBOARD CLADDING	
RENDER FINISH - CEMENT LOOKING FINISH	
PARTIWALL - BORAL PARTIWALL SYSTEM	

1 FRONT  
1 : 100



2 SIDE 1  
1 : 125

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SIDE BY SIDE DOUBLE STOREY TOWNHOUSES

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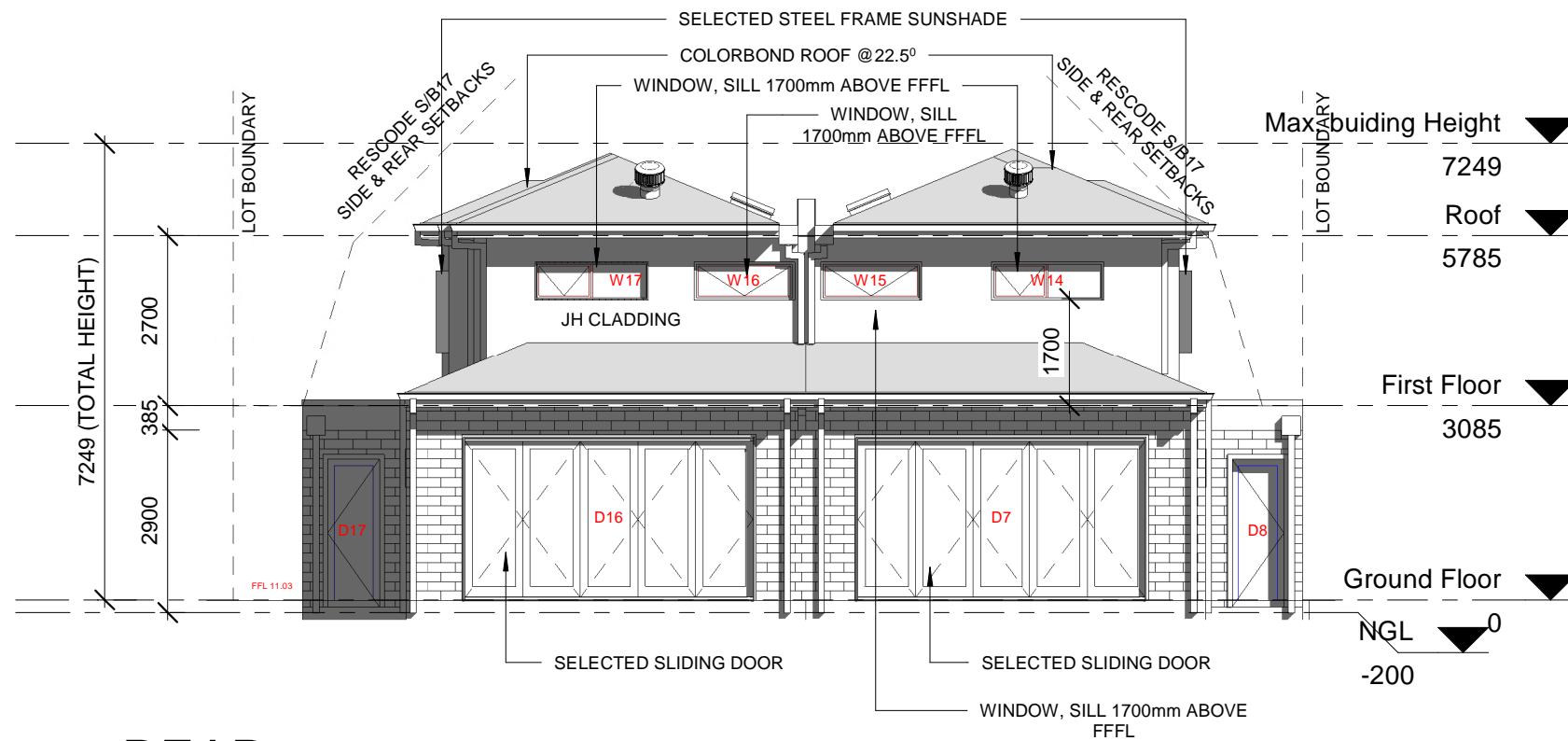
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DATE CREATED:	13-12-2021
DATE REVISED:	REVISED ITEM

DRAWING TYPE:	WORKING DRAWINGS
SCALE	As indicated @A3
SHEET NAME:	ELEVATION
JOB NO:	SHEET NO: 08 of 25



### COLOUR SPECIFICATION

COLORBOND ROOF - IRONSTONE	
GARAGE PANEL DOOR - TIMBER LOOK	
BRICKS - WELLBOURNE	
FASCIA, GUTTER, WINDOWS & METER BOX - JASPER	
FRONT DOOR TIMBER - MARBU	
CLADDING - UNITEX POLYSTYRENE CLADDING	
CLADDING - WEATHERBOARD CLADDING	
RENDER FINISH - CEMENT LOOKING FINISH	
PARTIWALL - BORAL PARTIWALL SYSTEM	

MASONRY EXPANSION JOINTS  
 · PROVIDE MASONRY EXPANSION JOINTS AT 5000mm MAXIMUM CENTERS.  
 · MASONRY TO COMPLY WITH AS 1300 - 1998

WINDOW HEIGHT  
 · WINDOW HEAD HEIGHT @ 2340mm.

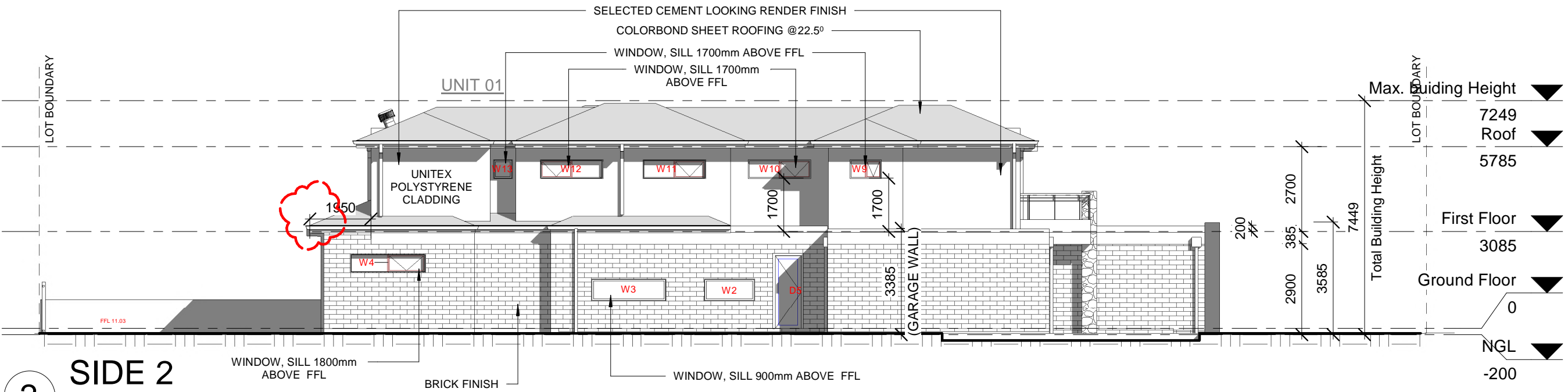
NOTE:  
 ARTICULATION JOINT TO BE SPECIFIED BY THE ENGINEER.

SMOKE DETECTORS TO BE INTERCONNECTED

NOTE:  
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NOTE:  
 GLAZING IN FRONT ENTRY DOOR AND SIDE LIGHT WINDOWS MUST BE TRANSLUCENT.

**1**  
**REAR**  
 1 : 100



**2**  
**SIDE 2**  
 1 : 125

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PROJECT:  
**SIDE BY SIDE DOUBLE STOREY TOWNHOUSES**

ADDRESS:  
 13 Kingsley Grove Mount Waverley

CLIENTS:  
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DRAWING TYPE:	WORKING DRAWINGS
SCALE:	As indicated @A3
SHEET NAME:	ELEVATION
JOB NO:	SHEET NO: 09 of 25

# Specifications:

## Subgrade Preparation

Site preparation to be carried out in accordance with best horticultural practice and under suitable conditions. Disturbance to indigenous soil structure is to be minimised. The use of machinery that may damage soil structure or profile is not acceptable. Sub-grade to all lawn and planted areas is to be cultivated to a minimum depth of 150mm and shaped to achieve drainage falls prior to topsoiling. Subgrade to be tested prior to preparation and conditioning to determine ph, salinity and gypsum requirement. Any gypsum required is to be distributed at the manufacturers recommended rate and cultivated into the sub-grade at a minimum depth of 150mm. Proposed topping areas to be graded / drained to prevent water discharge into neighbouring properties.

## Weed Control

Remove and dispose of environmental weeds off site prior to subgrade preparation, topsoiling and planting works.

## Soil Preparation

Topsoil is to be spread in maximum 150mm layers, lightly compacted by use of a 150 - 200kg roller, or by thoroughly walking until it accords with finished kerb levels or to within 75mm below edging levels to accommodate mulch. Imported topsoil for garden beds is to be medium texture general purpose garden soil and lightly compacted to minimum 300mm depth to garden beds. Soil is to comply with s.a.a. 2223-1978, and as follows:

- free from perennial weeds and their roots, bulbs and rhizomes
- free from building rubble and any other matter deleterious to plant growth
- ph to be 6.0 - 7.0
- texture to be light to medium friable loam
- free from silt material

Imported topsoil for lawn rejuvenation / establishment shall have the above characteristics, but shall be a free draining sandy loam lightly compacted to minimum 100mm depth

## General

While care has been taken to select tree species with non-invasive root systems it is recommended that root control barriers be installed for any trees located within two metres of any building lines. Climbing plants ( If applicable ) are to be trained to supportive mesh, wire or lattice fixed over entire fence section from base to top

## Mulch

The specified mulch for garden beds is to be an aged organic material with 60 - 80 percent of its volume being wood chips particles in a size range of 25 - 50 mm maximum. Mulch is to be spread at a consolidated depth of 75mm

## Planting Procedure

If soil to planting hole is dry - fill with water and allow to drain completely. Tree roots are to be teased outwards if matted or circling occurs prior to backfilling. Place tree in centre of hole on firm soil to prevent sinking, ensuring top of the rootball is flush with the surrounding soil surface and the trunk is vertical. Backfill material is to be in a loose, friable state, with no bricks, rocks or foreign material -if sufficient material is not available form the original hole to backfill, a similar soil type must be sourced and used. Soil material must be firmly backfilled in layers to prevent large air pockets from occurring, then thoroughly watered in. Trees to be staked with two 2250mm x 70mm hardwood stakes driven firmly into the ground -stakes must not be placed through the rootball area. Trees are to be secured to each stake with a strong, soft and flexible material, tight enough to support the tree in windy conditions - yet loose enough to stimulate development of a good supportive root system. Tree tie material must not injure tree bark or restrict trunk growth for a minimum period of three years. Slow release fertiliser ( 3/6 month formulation ) such as 'Osmocote' is to be applied to the top of the rootball area away from the trunk / stem to manufacturers specifications and watered in immediately. All trees to be mulched to a diameter of 1200mm wide and to a depth of 100mm but must not be in contact with the tree trunk. Mulch is to be an aged organic material with 60 - 80 percent of its volume being wood chip particles in a size range of 25 - 50mm maximum. Mulch is to be spread at a consolidated depth of 75mm. The planting hole surface is to be shaped to minimise waterlogging/excessive water retention but retain the mulch material neatly. The site must be left in a clean and safe condition

## Plant Establishment Period

The landscape is to be maintained by applying best horticultural practice to promote healthy plant performance for a 13 week establishment period following the approval of Practical Completion by the responsible authority including (but not limited to) the following tasks - Pruning as necessary to maintain plants in a healthy and structurally sound manner, pest and diseases - vegetation to be pest and disease free, mulching, staking and tying - 75mm mulch depth to be maintained around tree bases throughout maintenance period, watering - as often as necessary to ensure healthy and vigorous growth in accordance with current local watering regulations, weeding - maintained in a weed free state over the entire mulch area by spraying or mechanical mean, fertilising - 3/6 x monthly slow release fertiliser in accordance with manufacturers recommended application rates, replacement of deceased, stolen or vandalised plants beyond repair or regrowth with the same species as specified in the plant schedule within the assigned maintenance period.

## Irrigation

An in-ground automatic drip irrigation system to be installed to all garden areas and planter boxes ( If applicable ) in accordance with current local watering regulations

## Timber Edging

Timber edging to be 75mm x 25mm treated pine secured to 300mm long treated pine stakes at nom. min 1000mm spacings with galvanised screws and installed to all junctions between garden beds, lawn and topping / pebble areas

## Drainage

Landscape and / or building contractor(s) are responsible for civil and hydraulic computations for landscape building works including, but not limited to surface and sub surface drainage for all landscape areas prior to commencement of works

## Plants - Quality of Trees and Shrubs












Trees and shrubs shall be healthy nursery stock free from insects, diseases and weeds. The specified plant heights, and pot sizes are minimums. If plant material is unavailable in these sizes, larger stock must be used. Plant substitution is not acceptable unless confirmed by the responsible authority in writing. The contractor is to supply and install semi mature trees which meet the following criteria: Have a minimum planted height to sizes as indicated in the plant schedule, have a minimum trunk calliper of 50mm at ground level, be undamaged and free of diseases and insect pests, not be root bound or have circling or girdling roots but have roots grown to the edge of - the container, should bear a single straight trunk, strong branching pattern, and full canopy, show healthy, vigorous growth

## Protection of Existing Trees

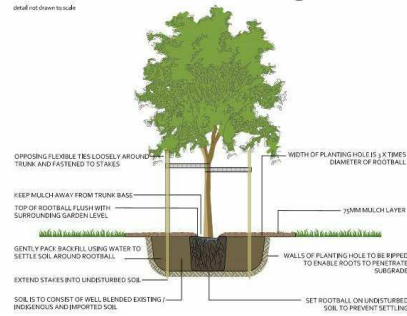
All existing vegetation shown on the endorsed plan ( subject site and neighbouring properties ) to be retained must be suitably marked before any development ( including demolition ) commences on the land and that vegetation must not be removed, destroyed or lopped without the written consent of the responsible authority. Before the commencement of works ( including demolition ) start, tree protection barriers must be erected around trees ( subject site and neighbouring properties ) to form a defined tree protection zone during demolition and construction in accordance with tree protection measures as per AS 4970-2009 ( Tree protection in development sites ).

Any pruning that is required must be carried out by a trained and competent arborist with a thorough knowledge of tree physiology and pruning methods to carry out pruning to the Australian standard - AS 4373-2007 ( Pruning of amenity trees ). All tree protection practices must be in accordance with a consulting arborist and / or to the satisfaction of the responsible authority.

# LEGEND

-  PROPOSED CANOPY TREES
-  EXISTING TREES
-  TREES TO BE REMOVED
-  2.5X2.0M SPLAY CORNER AS REQUIRED BY AS2890.1.2004
-  PROPOSED 6M³ GARDEN SHED
-  PROPOSED DWELLING
-  PROPOSED CONCRETE DRIVEWAY
-  GRASS AREA
-  BOUNDARY LINE
-  PAVING AREA
-  PROPOSED SMALL/MEDIUM SHRUBS

## Advanced Tree Planting



## Surface Finishes Detail

### Garden Beds

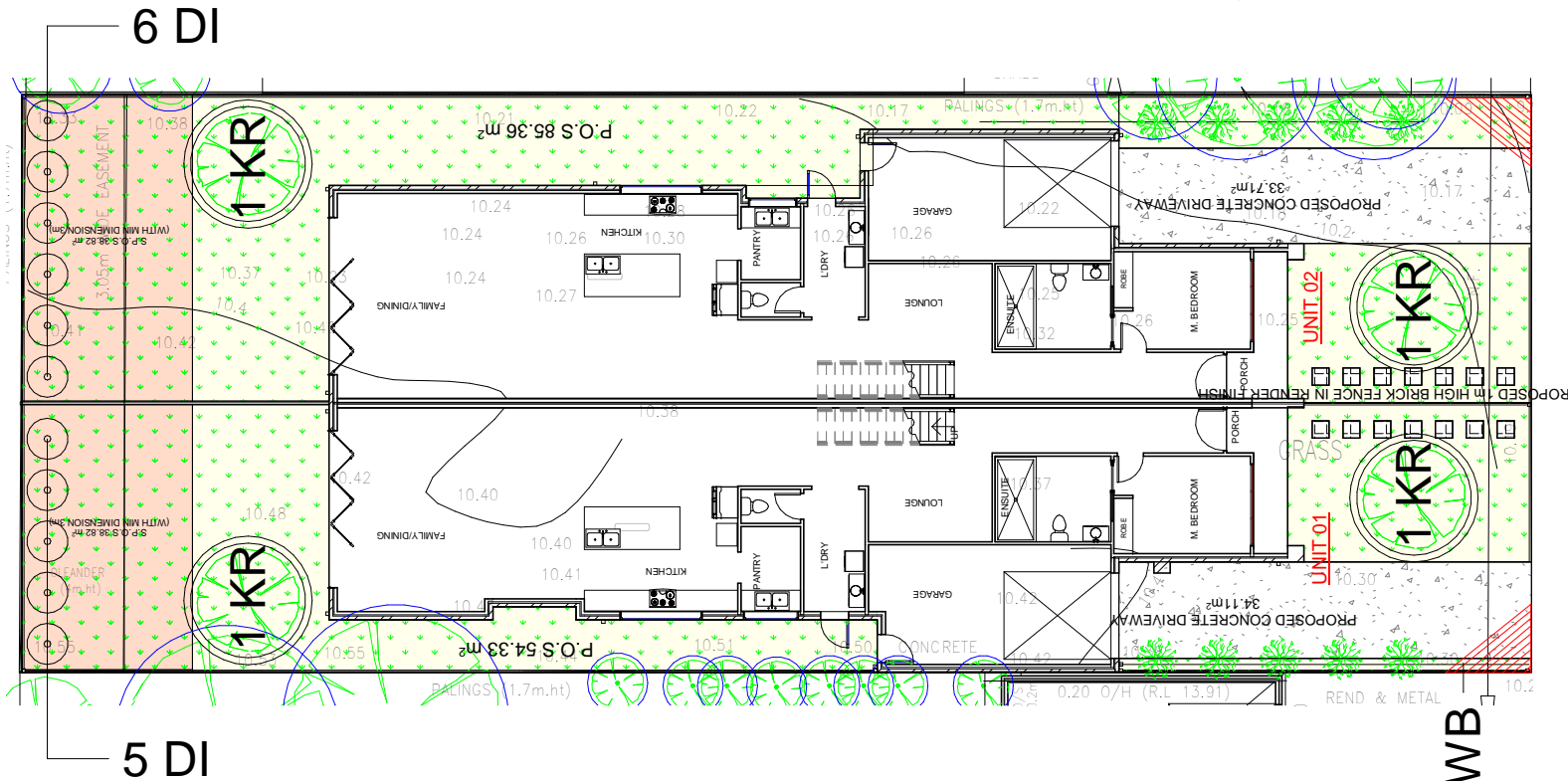
- 75mm ORGANIC PINE BARK MULCH
- 400mm APPROVED MEDIUM LOAM SOIL
- MIN 150mm DEEP ROTARY HOED SUBGRADE

### Topping / Pebble Areas

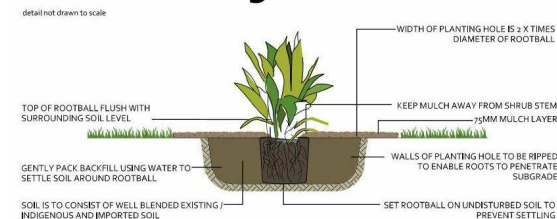
- 40MM COMPACTED TOPPING ( GRANITIC SAND / 30 TO 40MM RIVER PEBBLE
- 75MM COMPACTED FOR BASE
- NO COMPACTED FOR BASE AROUND BASE OF EXISTING TREES
- SUBGRADE

### Lawn areas

- STRATHAYR® SR WALTER SOFT LEAF (BUFFALO) OR SIMILAR INSTANT LAWN
- 100MM APPROVED SANDY LOAM SOIL
- MIN 150mm DEEP ROTARY HOED SUBGRADE



## Shrub Planting



Proposed Vegetation Schedule				
Code	Botanical Name	Common Name	Mature HxW(m)	Qty
<u>Trees</u>				
KR	BRACHYCHITON POPULNEUS	KURRAJONG	10m H x 8m W	4
<u>Middle Shrubs</u>				
DI	LAGERSTROEMIA INDICA	DIAMONDS IN THE DARK	1m H x 2m W	11
<u>Small Shrubs</u>				
WB	RICINOCARPUS PINIFOLIUS	WEDDING BUSH	1-2m H x 1-2m W	10

## LANDSCAPE PLAN

SCALE: 1:200

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DATE REVISED:	REVISED ITEM	SCALE:	As indicated @A3
		SHEET NAME:	LANDSCAPING
JOB NO:		SHEET NO:	10 of 25

Door Schedule		
Mark	Width	Height

D1	1200	2040
D2	762	2032
D3	820	2340
D4	762	2032
D5	820	2340
D7	4572	2600
D8	820	2340
D9	2500	2100
D10	1200	2040
D11	762	2032
D12	820	2340
D13	762	2032
D14	820	2340
D16	4572	2600
D17	820	2340
D18	2500	2100
D19	820	2340
D20	3500	2340
D21	820	2340
D22	820	2340
D23	2000	2143

Door Schedule		
Mark	Width	Height

D24	820	2340
D25	2000	2143
D26	720	2040
D27	820	2340
D28	2000	2143
D29	600	2100
D30	820	2340
D31	820	2340
D32	820	2340
D33	2000	2143
D34	820	2340
D35	2000	2143
D36	820	2340
D37	1600	2340
D38	720	2040
D39	600	2100

Window Schedule			
Mark	Width	Height	Family

W1	2410	2100	Double Hung - 3L (AUS)
W2	1600	700	M_Fixed1
W3	2400	700	M_Fixed1
W4	2400	600	Awning - 2L (AUS)
W5	2400	600	Awning - 2L (AUS)
W6	2400	700	M_Fixed1
W7	1400	700	M_Fixed1
W8	2410	2100	Double Hung - 3L (AUS)
W9	1000	600	Awning - 2L (AUS)
W10	2000	600	Awning - 2L (AUS)
W11	2000	600	Awning - 2L (AUS)
W12	2000	600	Awning - 2L (AUS)
W13	600	600	M_Fixed1
W14	1800	600	Awning - 2L (AUS)
W15	1600	600	Awning - 1L (AUS)
W16	1600	600	Awning - 1L (AUS)
W17	1800	600	Awning - 2L (AUS)
W18	600	600	M_Fixed1
W19	1800	600	Awning - 2L (AUS)
W20	1800	600	Awning - 2L (AUS)
W21	2000	600	Awning - 2L (AUS)
W21	610	686	Skylight
W22	1000	600	Awning - 2L (AUS)
W22	610	686	Skylight
W23	1600	700	Corner Window Full Glass
W24	406	1500	Fixed

ARTIFICIAL LIGHTING	LIGHT FITTINGS	WATTS	GROUND FLOOR	FIRST FLOOR	TOTAL
<b>CLASS 1 BUILDING - DWELLING</b> <b>UNIT 1</b>	BATTEN HOLDER	14W	25	12	518W
	PENDANT LIGHT	30W	3	00	90W
	CEILING MOUNTED EXHAUST FAN		2	2	
	SMOKE DETECTOR		2	1	
	COOLING OUTLET		1	4	
Max. Allowable Wattage 5 W/m <sup>2</sup>	FLOOR AREA 261 m <sup>2</sup> Max. Allowable Watts	1305W	TOTAL WATTS		608W
<b>PORCH, BALCONY &amp; ALFRESCO</b>	BATTEN HOLDER	14W	2	2	56W
	DOWNLIGHTS	10W	1	00	10W
	Max. Allowable Wattage 4 W/m <sup>2</sup>	FLOOR AREA 19 m <sup>2</sup> Max. Allowable Watts	76W	TOTAL WATTS	
<b>CLASS 10 BUILDING - GARAGE</b>	FLOURESCENT LIGHT	36W	1	00	36W
	Max. Allowable Wattage 3 W/m <sup>2</sup>	FLOOR AREA 27 m <sup>2</sup> Max. Allowable Watts	81W	TOTAL WATTS	

**NOTE:**

SMOKE ALARMS TO COMPLY WITH A.S 3786-2014  
SMOKE ALARMS TO BE INTERCONNECTED AND INSTALLED IN ACCORDANCE WITH BCA PART 3.7.2 FOR ALL CLASS 1A AND 1B BUILDINGS.  
SMOKE ALARMS MUST BE CONNECTED DIRECTLY TO MAINS POWER.

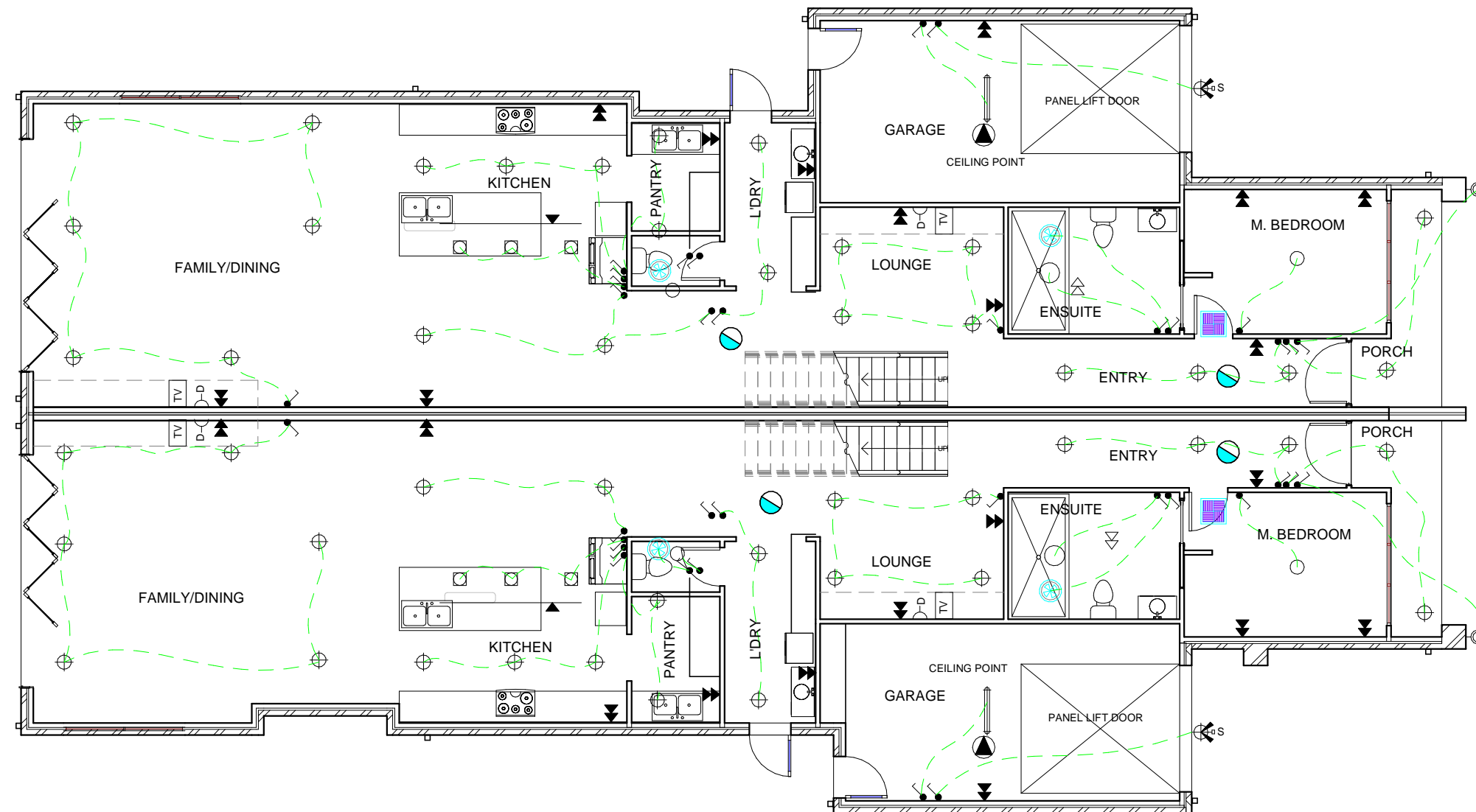
PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH BCA PART 3.8.5

PROVIDE CEILING MOUNTED EXHAUST FAN WITH SELF CLOSING DAMPER, TO ROOF SPACE.

PROVIDE POWER POINT IN ROOF SPACE FOR DUCTED HEATER & COOLING UNITS.

FINAL LOCATION OF POWER, LIGHT POINTS, HEATING AND COOLING GRILLS TO BE CONFIRMED ON SITE BY OWNER.

ELECTICAL SCHEDULE	
○	BATTEN LIGHT POINTS
●	SWITCH
●	SWITCH TWO WAY
⊕	LOW VOLTAGE RECESSED DOWN LIGHTS
⊕	LOW VOLTAGE LED NICHE LIGHT
⊕	WALL MOUNTED INTERNAL LIGHT
⊕	WALL MOUNTED EXTERNAL LIGHT
⊕	UP/DOWN WALL LIGHT
⊕	LOW VOLTAGE NIGHT LIGHT 300MM AFFL
⊕	DOUBLE POWER POINTS 300MM AFFL
⊕	DOUBLE POWER POINTS 1100MM AFFL OR 30MM ABOVE BENCHTOP WHERE SHOWN
⊕	SINGLE POWER POINTS 300MM AFFL
⊕	EXTERNAL POWER POINTS
⊕	EXHAUST FAN/S
⊕	SMOKE ALARMS
⊕	SINGLE FLOURESCENT LIGHT
TV	TELEVISION POINT
PH	TELEPHONE POINT BY OTHERS
D	DATA POINT
⊕	SINGLE PARAFLOOD LIGHT
⊕	DOUBLE PARAFLOOD LIGHT
⊕	DOUBLE PARAFLOOD LIGHT WITH SENSOR
⊕	DUCTED HEATING POINT (APPROX POSITION)
⊕	DUCTED COOLING POINT (APPROX POSITION)
MB	METER BOX 1900 TO TOP
SB	SWITCH BOARD
MH	MANHOLE
⊕	HEATLAMP
⊕	CEILING FAN - PROVIDED BY CLIENT
⊕	CHANDELIER POINT
⊕	SINGLE G.P.O IN CEILING
⊕	PENDENT LIGHT



ARTIFICIAL LIGHTING CALCULATIONS IN ACCORDANCE WITH NCC VOLUME 2 - CLAUSE 3.12.5.5 ARTIFICIAL LIGHTING

**NOTE:**  
6 STAR ENERGY RATING IS ACHIEVED AS PER ENERGY REPORT .

**GROUND FLOOR ELECTRICAL**  
SCALE: 1:100

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PROJECT:  
**SIDE BY SIDE DOUBLE STOREY TOWNHOUSES**

ADDRESS:  
13 Kingsley Grove Mount Waverley

CLIENTS:  
Mr.Manjeet Singh & Mrs. Karishma Daswani

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SHEET NAME: <b>ELECTRICAL</b>	
JOB NO:	SHEET NO: 12 of 25

ARTIFICIAL LIGHTING	LIGHT FITTINGS	WATTS	GROUND FLOOR	FIRST FLOOR	TOTAL
<b>CLASS 1 BUILDING - DWELLING</b> <b>UNIT 2</b>	BATTEN HOLDER	14W	25	12	518W
	PENDANT LIGHT	30W	3	00	90W
	CEILING MOUNTED EXHAUST FAN		2	2	
	SMOKE DETECTOR		2	1	
	COOLING OUTLET		1	4	
Max. Allowable Wattage 5 W/m <sup>2</sup>	FLOOR AREA 254 m <sup>2</sup> Max. Allowable Watts	1270W	TOTAL WATTS		608W
<b>PORCH, BALCONY &amp; ALFRESCO</b>	BATTEN HOLDER	14W	2		28W
	DOWNLIGHTS	10W	1	00	10W
Max. Allowable Wattage 4 W/m <sup>2</sup>	FLOOR AREA 6 m <sup>2</sup> Max. Allowable Watts	24W	TOTAL WATTS		38W
<b>CLASS 10 BUILDING - GARAGE</b>	FLOURESCENT LIGHT	36W	1	00	36W
	Max. Allowable Wattage 3 W/m <sup>2</sup>	FLOOR AREA 29 m <sup>2</sup> Max. Allowable Watts	87W	TOTAL WATTS	

**NOTE:**

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●	SWITCH TWO WAY
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⊕	LOW VOLTAGE LED NICHE LIGHT
⊕	WALL MOUNTED INTERNAL LIGHT
⊕	WALL MOUNTED EXTERNAL LIGHT
⊕	UP/DOWN WALL LIGHT
⊕	LOW VOLTAGE NIGHT LIGHT 300MM AFFL
⊕	DOUBLE POWER POINTS 300MM AFFL
⊕	DOUBLE POWER POINTS 1100MM AFFL OR 30MM ABOVE BENCHTOP WHERE SHOWN
⊕	SINGLE POWER POINTS 300MM AFFL
⊕	EXTERNAL POWER POINTS
⊕	EXHAUST FAN/S
⊕	SMOKE ALARMS
⊕	SINGLE FLOURESCENT LIGHT
TV	TELEVISION POINT
PH	TELEPHONE POINT BY OTHERS
D	DATA POINT
⊕	SINGLE PARAFLOOD LIGHT
⊕	DOUBLE PARAFLOOD LIGHT
⊕	DOUBLE PARAFLOOD LIGHT WITH SENSOR
⊕	DUCTED HEATING POINT (APPROX POSITION)
⊕	DUCTED COOLING POINT (APPROX POSITION)
MB	METER BOX 1900 TO TOP
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MH	MANHOLE
⊕	HEATLAMP
⊕	CEILING FAN - PROVIDED BY CLIENT
⊕	CHANDELIER POINT
⊕	SINGLE G.P.O IN CEILING
⊕	PENDENT LIGHT



ARTIFICIAL LIGHTING CALCULATIONS IN ACCORDANCE WITH NCC VOLUME 2 - CLAUSE 3.12.5.5 ARTIFICIAL LIGHTING

**NOTE:**  
6 STAR ENERGY RATING IS ACHIEVED AS PER ENERGY REPORT .

FIRST FLOOR ELECTRICAL  
SCALE: 1:100

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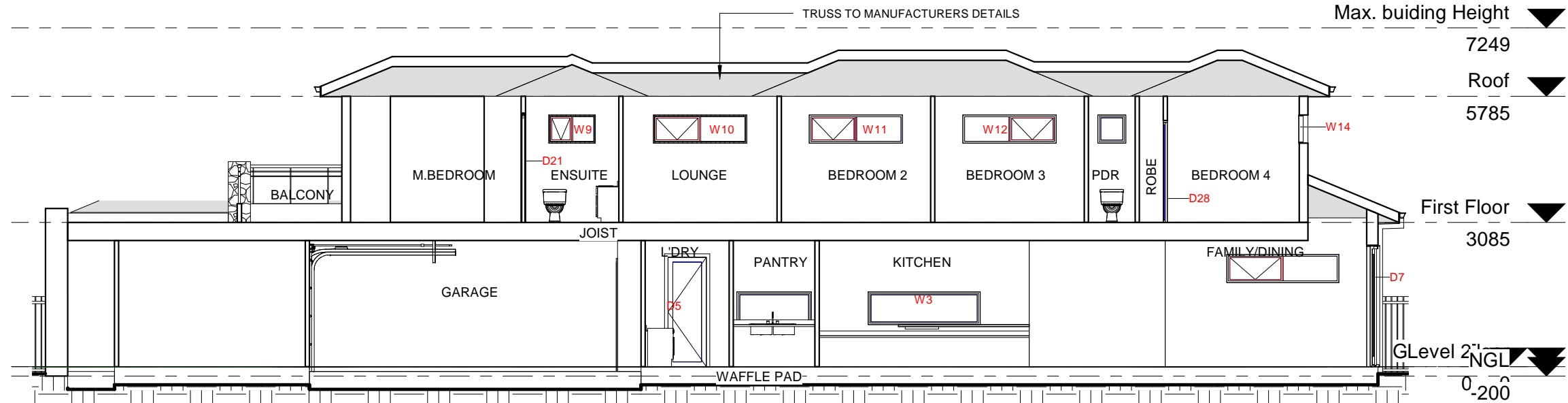
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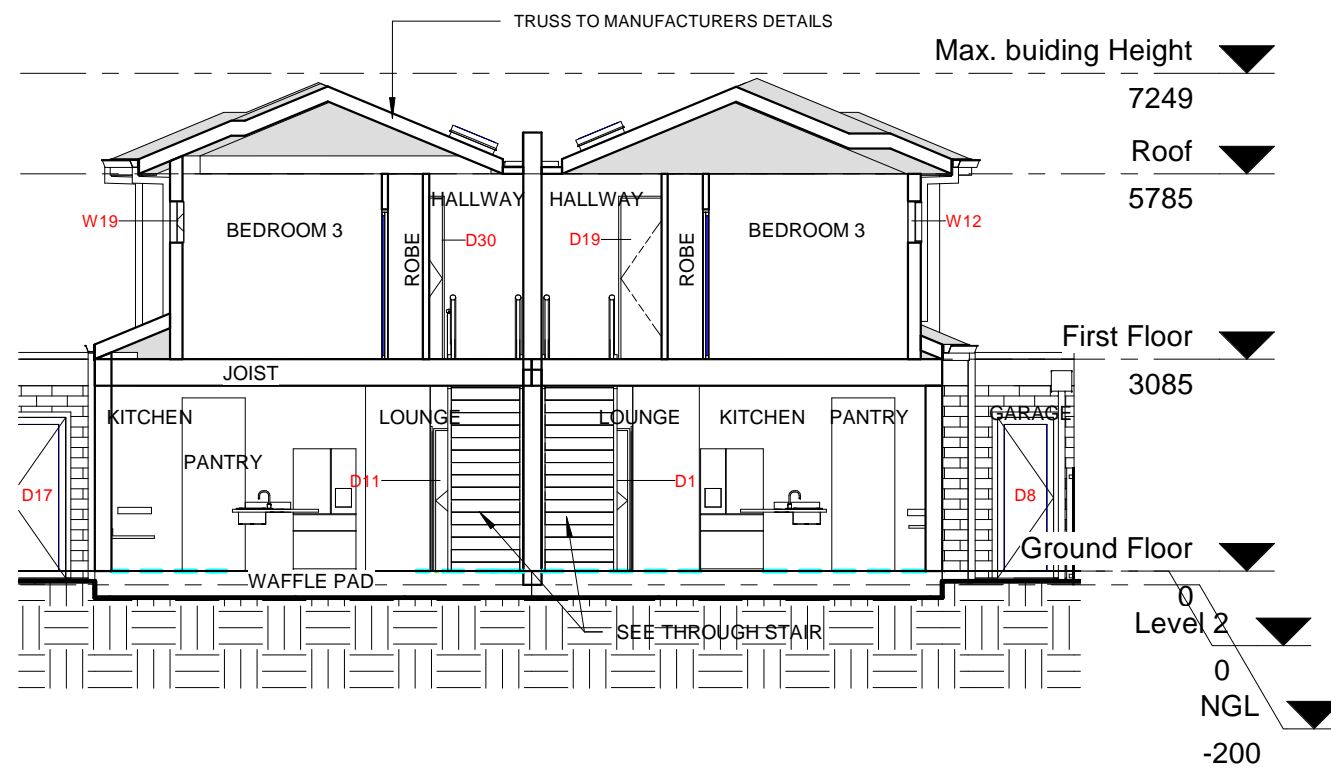
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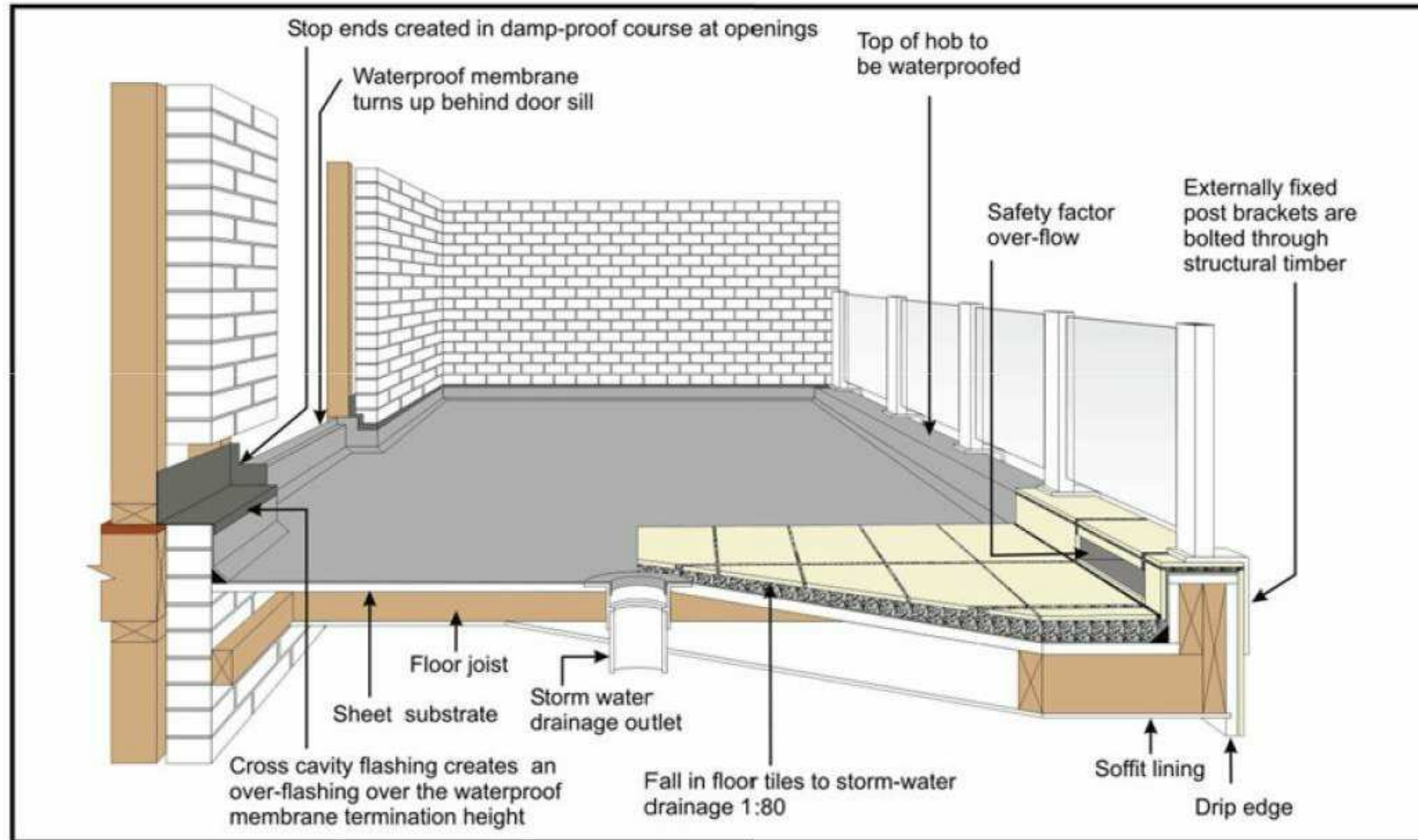
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SCALE 1 : 100 @A3	
SHEET NAME: ELECTRICAL	
JOB NO:	SHEET NO: 13 of 25



**1** Section 1  
1 : 100



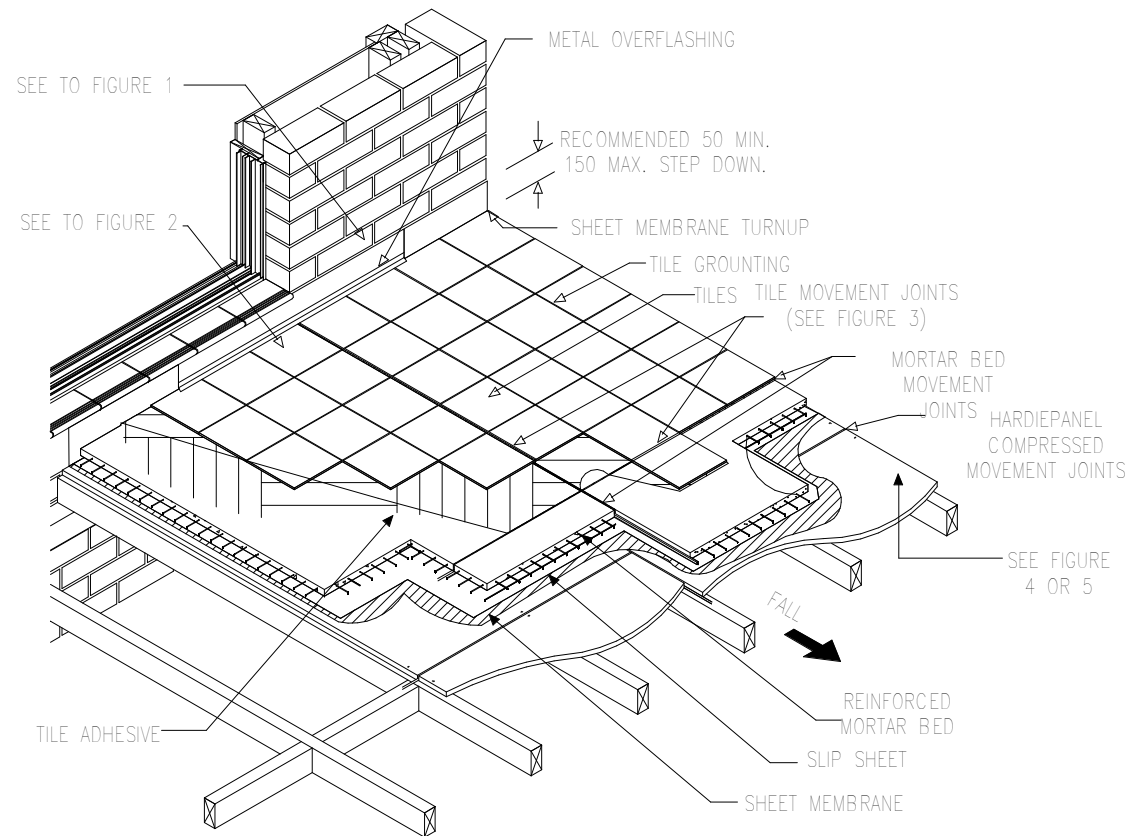
**2** Section 2  
1 : 100



## Balcony Water Proofing Detail

1 : 100

FOLLOW AS 4654.2-2012



**NOTE:**  
HARDIPANEL COMPRESSED SHEET JOINTS MUST OCCUR OVER JOISTS AND TRIMMERS

1 WATERPROOFING DETAILS

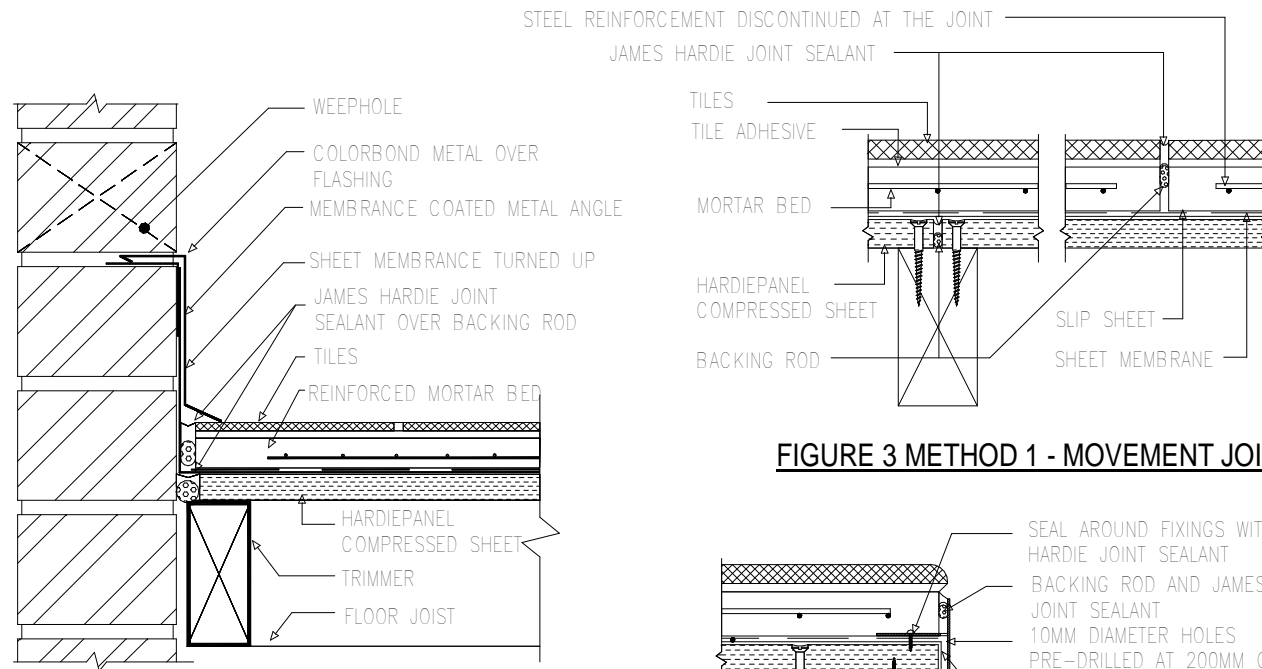


FIGURE 3 METHOD 1 - MOVEMENT JOINT DETAILS

FIGURE 1 METHOD 1 - WALL DETAIL

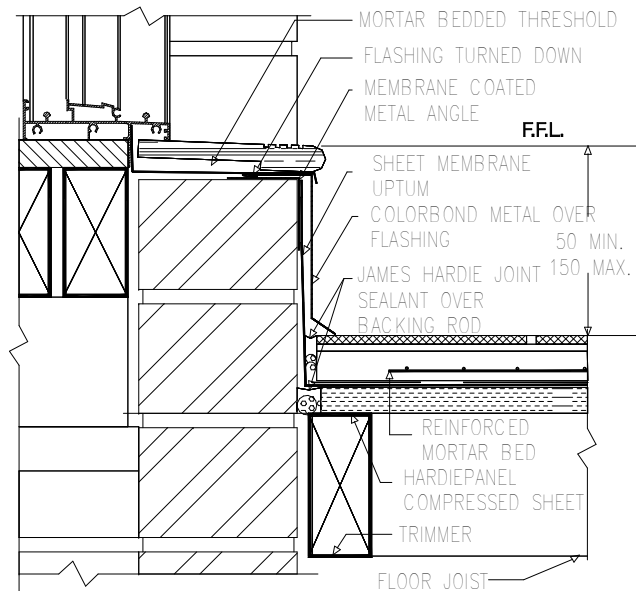
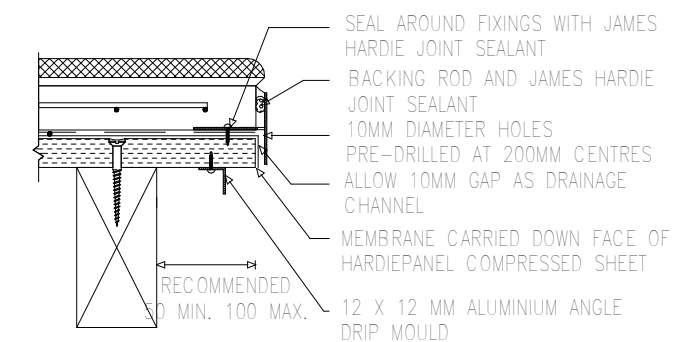
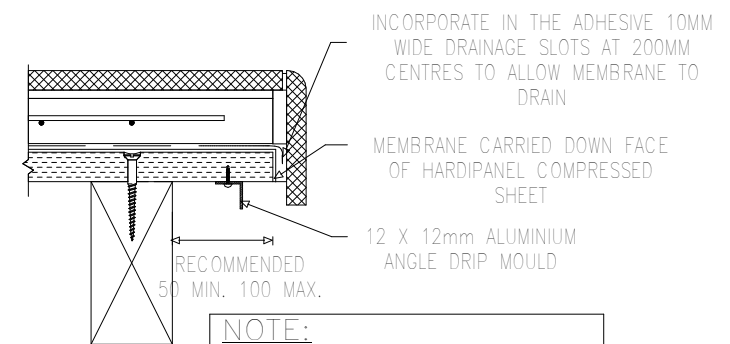


FIGURE 2 METHOD - STEP DOWN DETAIL



**NOTE:**  
AFTER APPLYING MEMBRANE, FIX THE 40 X 40MM ALUMINIUM TEE SECTION THROUGH MEMBRANE INTO HARDIE PANEL COMPRESSED SHEET AT 300MM CENTRES. USE CADMIUM PLATED SCREWS.

FIGURE 4 METHOD 1 - DECK EDGE DETAIL USING ALUMINIUM TEE SECTION



**NOTE:**  
EDGE TILE MAY REQUIRE MECHANICAL FIXING IN ADDITION TO ADHESIVE FIXING.

FIGURE 5 METHOD 1 - DECK EDGE DETAIL USING TILE

# Balcony water proofing detail

1 : 100

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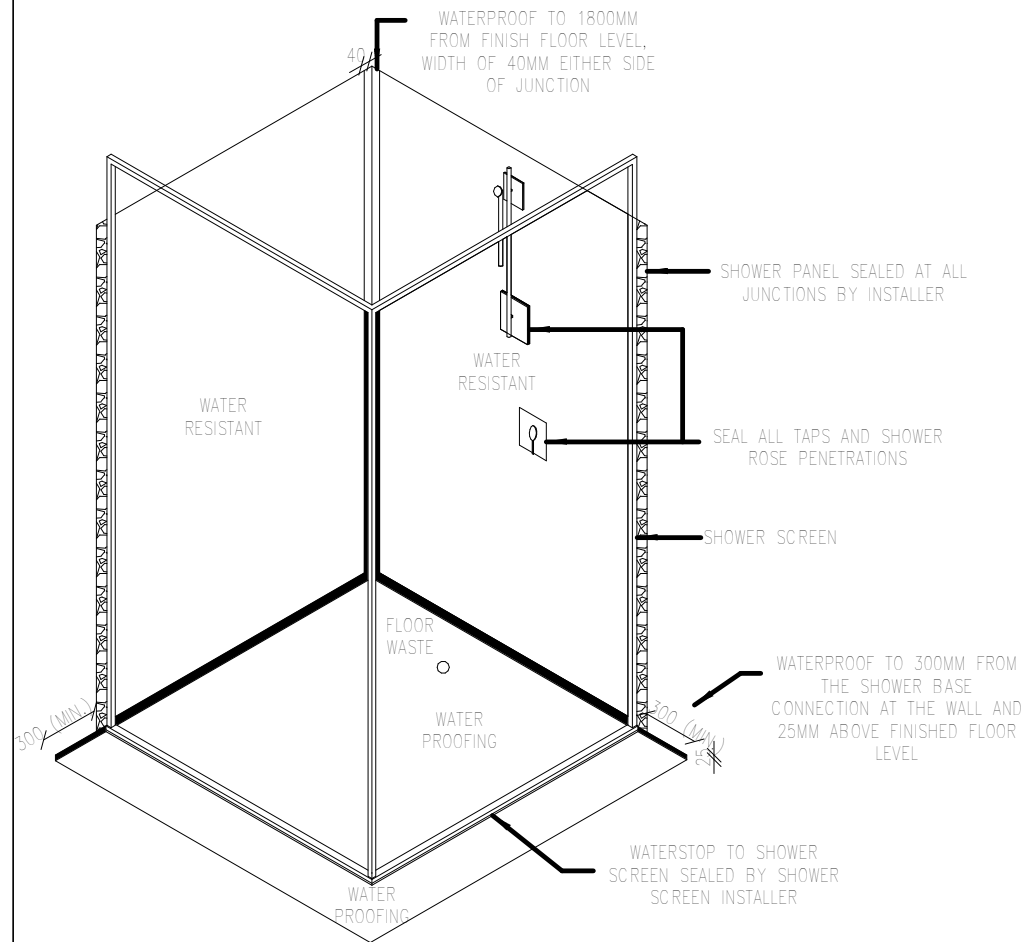
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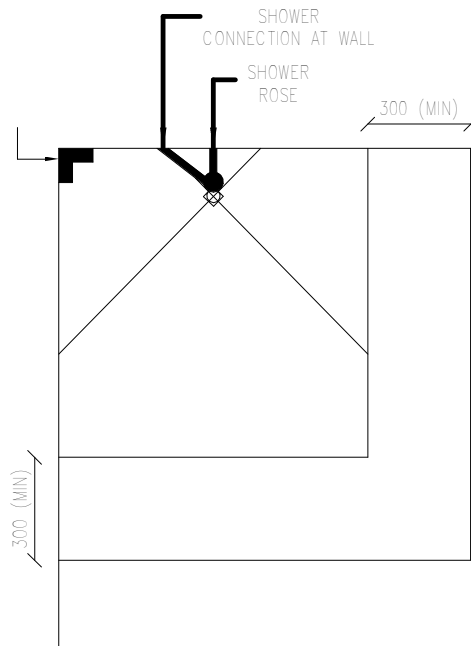
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SCALE  
1 : 100 @A3  
SHEET NAME:  
WATER PROOFING DETAILS  
JOB NO:  
SHEET NO:  
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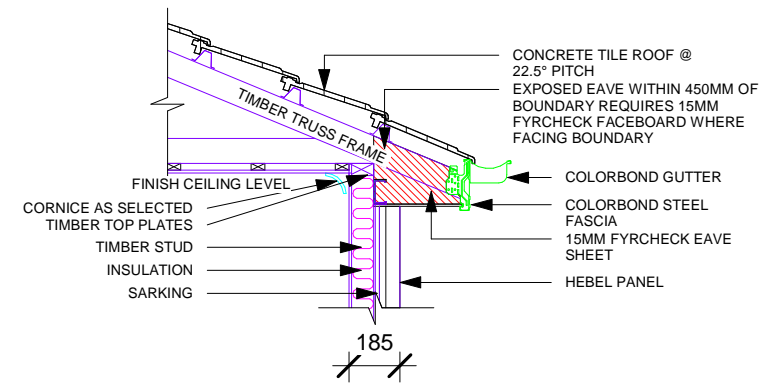


**ISOMETRIC VIEW**  
**WET AREA WATERPROOFING DETAIL**  
 SCALE-1:20

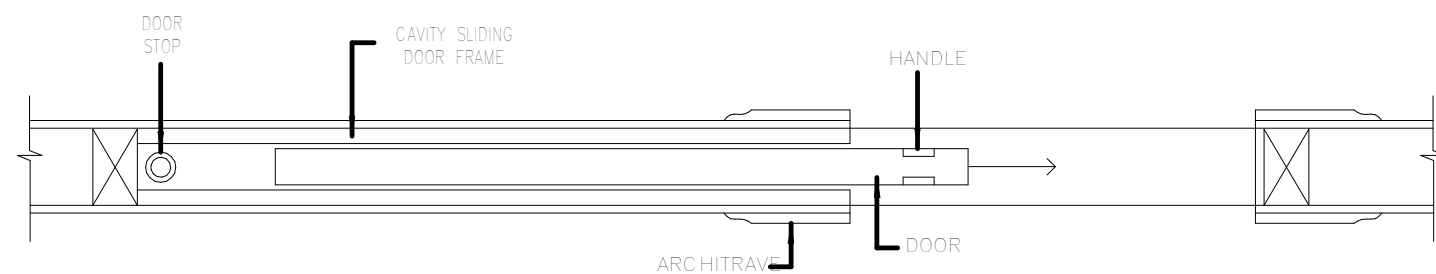
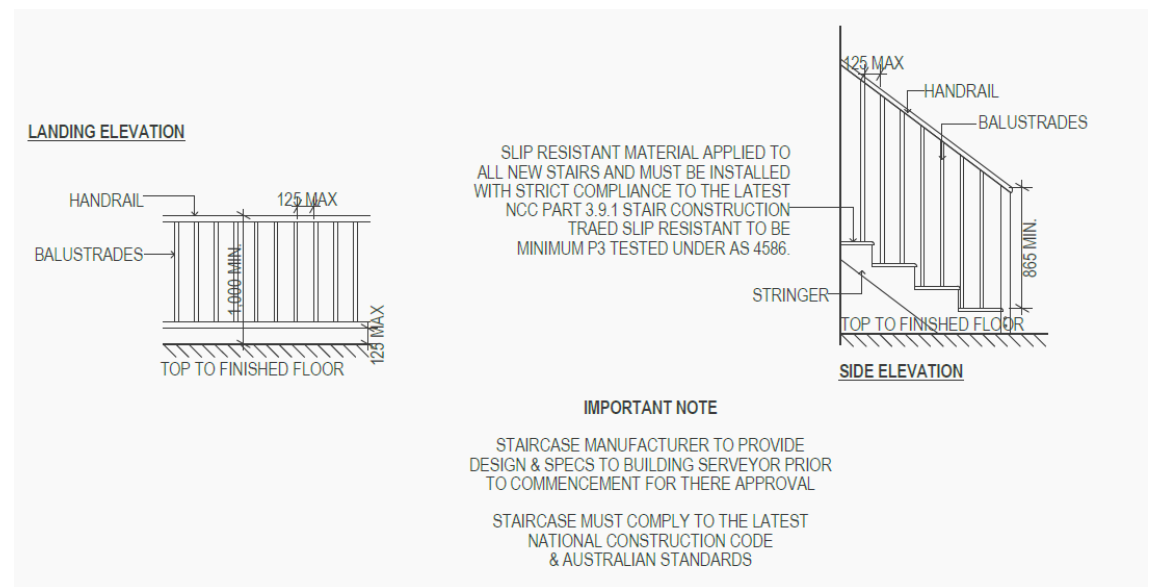
WATERPROOF TO 1800 MM FROM FINISH FLOOR LEVEL, WIDTH OF 40MM EITHER SIDE OF JUNCTION



**PLAN VIEW**  
**WET AREA WATERPROOFING DETAIL**  
 SCALE-1:20



**Wall to Truss**  
 1 : 25



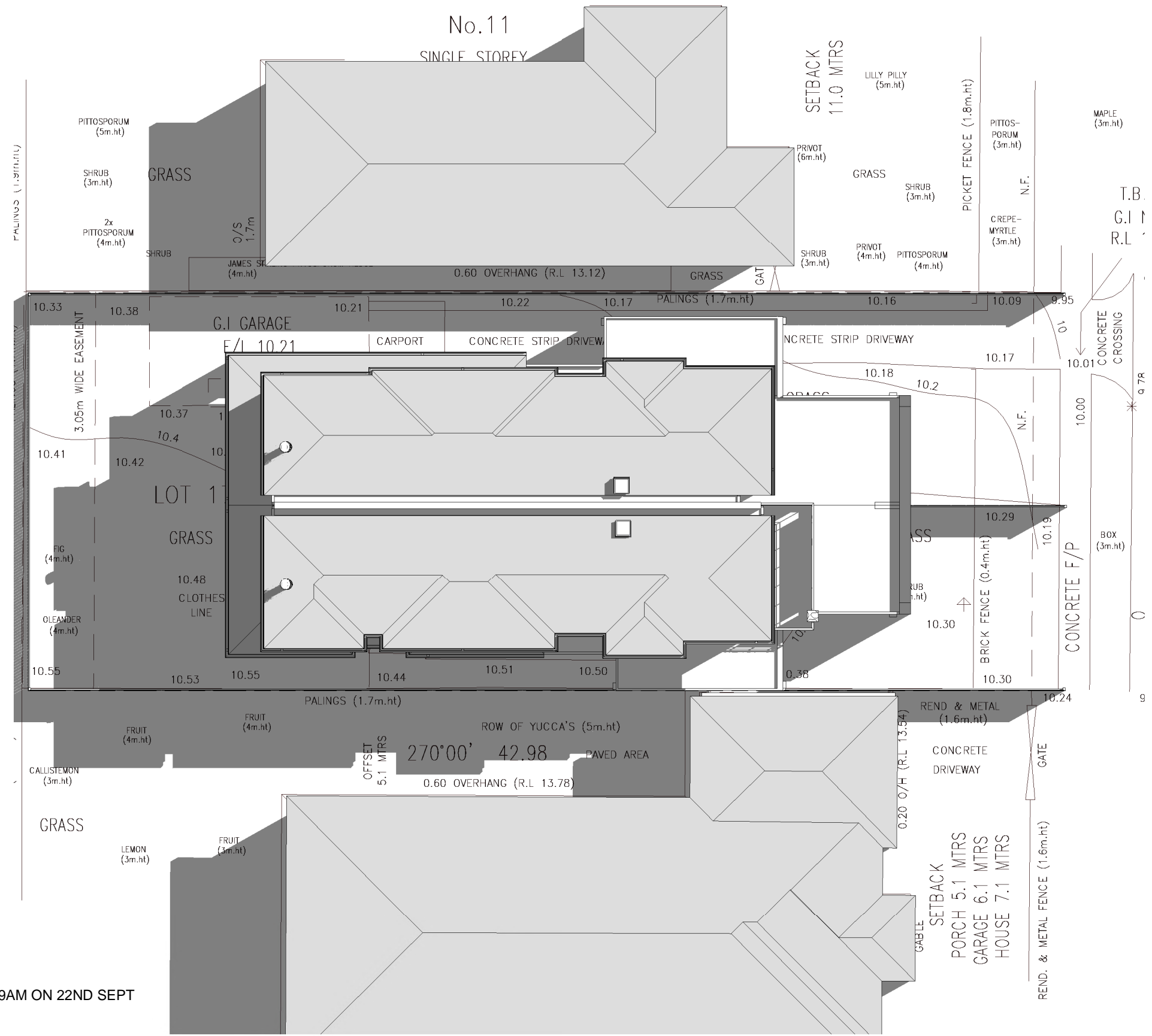
**TYPICAL CAVITY SLIDING DOOR DETAIL**  
 NOT TO SCALE

**Water proof**  
 1 : 100

**Figure 3.9.1.1**  
**STAIR RISER AND GOING DIMENSIONS (mm)**

STAIR TYPE	RISER ( R )		GOING ( G )		SLOPE RELATIONSHIP	
	MAX	MIN	MAX	MIN	MAX	MIN
STAIRS (Other than Spiral)	190	115	355	240	700	550
SPIRAL	220	140	370	210	680	590

125mm Sphere must not pass through between treads



### SITE WORKS NOTES

- GENERAL**
  - Written dimension take precedence over scale. DO NOT SCALE THE DRAWING.
  - This plans to be used in conjunction with engineering plans and other relevant documents during construction.
  - All building work is to be executed in a workmanlike manner in accordance with the latest issue of National Construction Code (NCC).
  - Materials must conform with the relevant building statutes.
  - All dimensions to be verified before commencement of any building work.
- EXCAVATION**
  - Excavate footings and drains as shown. keep excavations dry and backfill with approved materials free of any building debris.
- STORM WATER**
  - All storm water drains are to be connected to the Legal Point of Discharge.
  - DP denotes 100x50 Colourbond or galvanised downpipes at 12m centres.
  - All storm water drains to be 90mm min P.V.C., laid at a grade no less than 1:100.
- LEVELS**
  - Design levels shown are arbitrary datum and are to be used as a guide only. Owner / builder to check and verify on site to any work done.
  - All levels on drawings are nominal only and may adjust due to site conditions up to 50mm either way.
- CONCRETE**
  - All concrete footing and slab works shall comply with as 2870-2011 "RESIDENTIAL SLABS AND FOOTINGS" part 1: construction in the absence of engineer's drawings or computations.

### REQUIREMENTS TO BE PROVIDED

YES	TERMITE PROTECTION
NO	SOLAR BOOSTED HOT WATER
YES	WATER TANK TO BE CONNECTED TO W.C & RAIN WATER USE FOR FLUSHING
NO	RECYCLED WATER SYSTEM AS PER ESTATE REQUIREMENTS
YES	NBN SETUP AS PER ESTATE REQUIREMENTS
YES	CONDUIT FOR TELEPHONE LINE
NO	BUSH FIRE PRONE AREA

### BUSH FIRE ATTACK LEVEL ASSESSMENT

FIRE INDEX DANGER	N/A
VEGETATION TYPE	N/A
DISTANCE FROM SITE TO VEGETATION	N/A
SLOPE OF LAND	N/A
BUSH FIRE ATTACK LEVEL	N/A

SHADOW @ 9AM ON 22ND SEPT  
SCALE: 1:100

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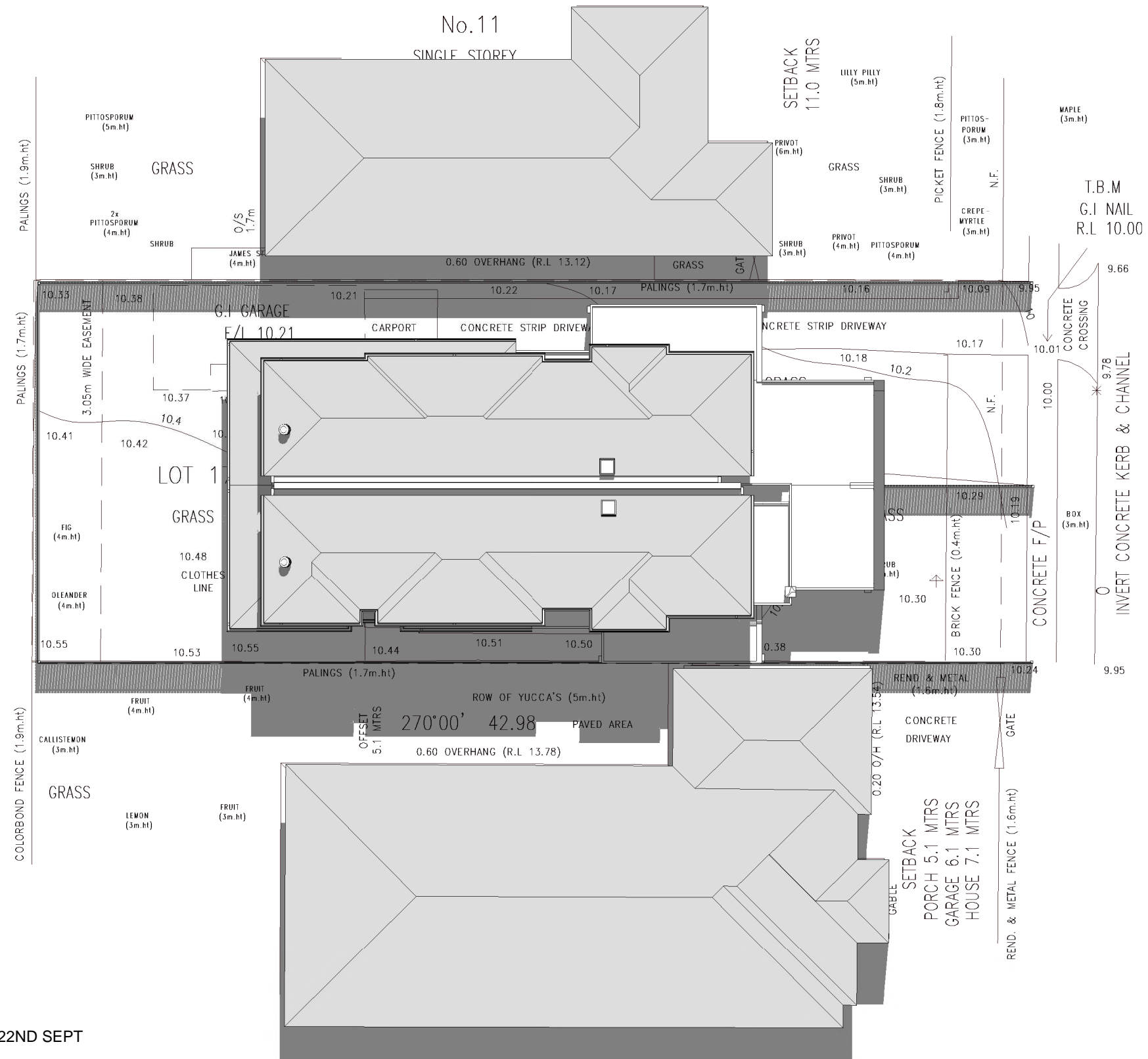
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SCALE	As indicated @A3
SHEET NAME:	SHADOW DIAGRAM
JOB NO:	SHEET NO: 18 of 25



SHADOW @ 12noon ON 22ND SEPT  
SCALE: 1:100

### SITE WORKS NOTES

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- STORM WATER**
  - All storm water drains are to be connected to the Legal Point of Discharge.
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YES	NBN SETUP AS PER ESTATE REQUIREMENTS
YES	CONDUIT FOR TELEPHONE LINE
NO	BUSH FIRE PRONE AREA

### BUSH FIRE ATTACK LEVEL ASSESSMENT

FIRE INDEX DANGER	N/A
VEGETATION TYPE	N/A
DISTANCE FROM SITE TO VEGETATION	N/A
SLOPE OF LAND	N/A
BUSH FIRE ATTACK LEVEL	N/A

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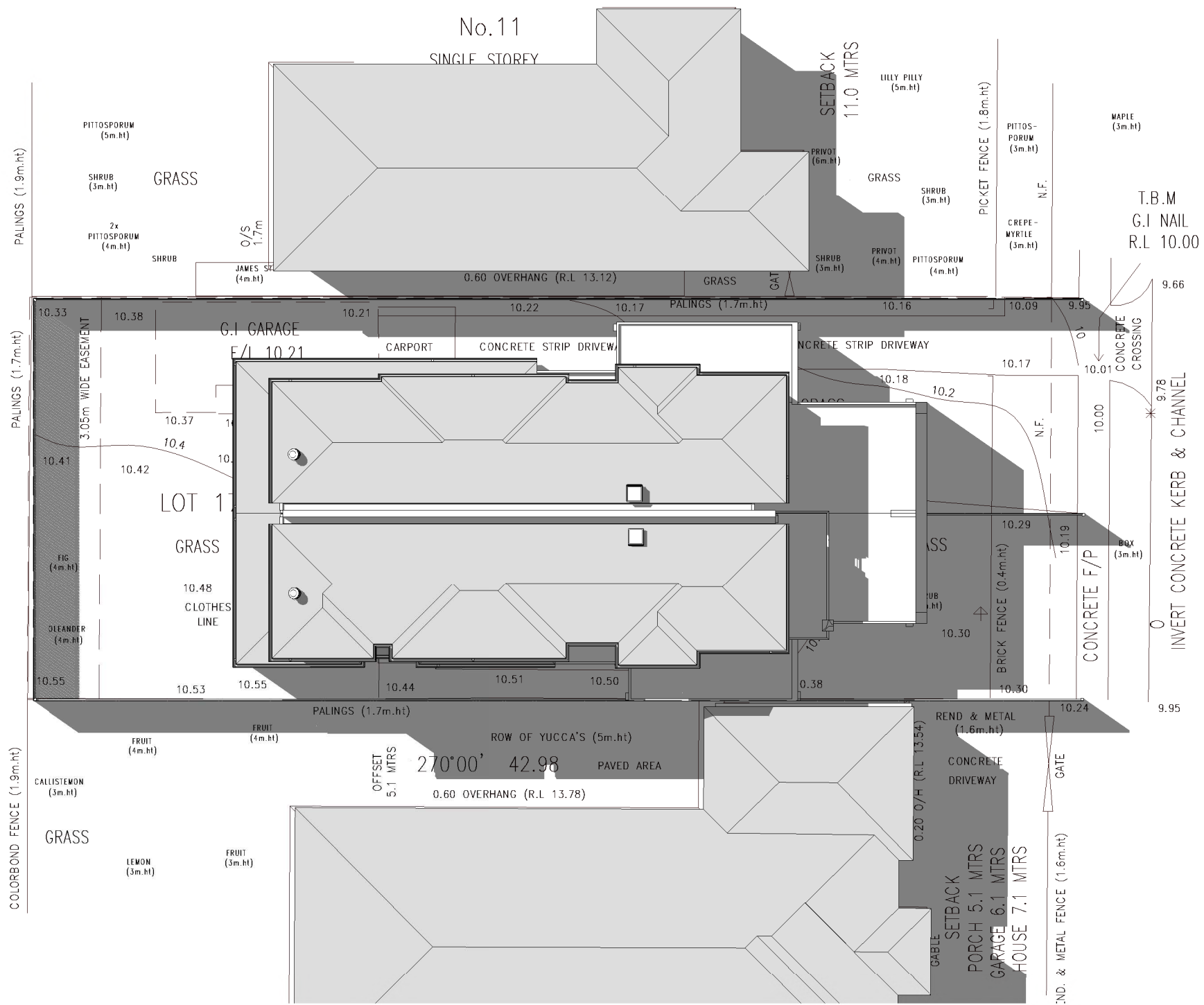
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SCALE	
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SHEET NAME:	
SHADOW DIAGRAM	
JOB NO:	SHEET NO:
	19 of 25



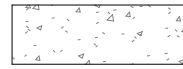
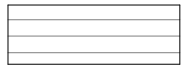
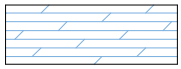
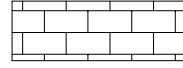

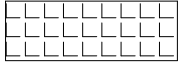
### SITE WORKS NOTES

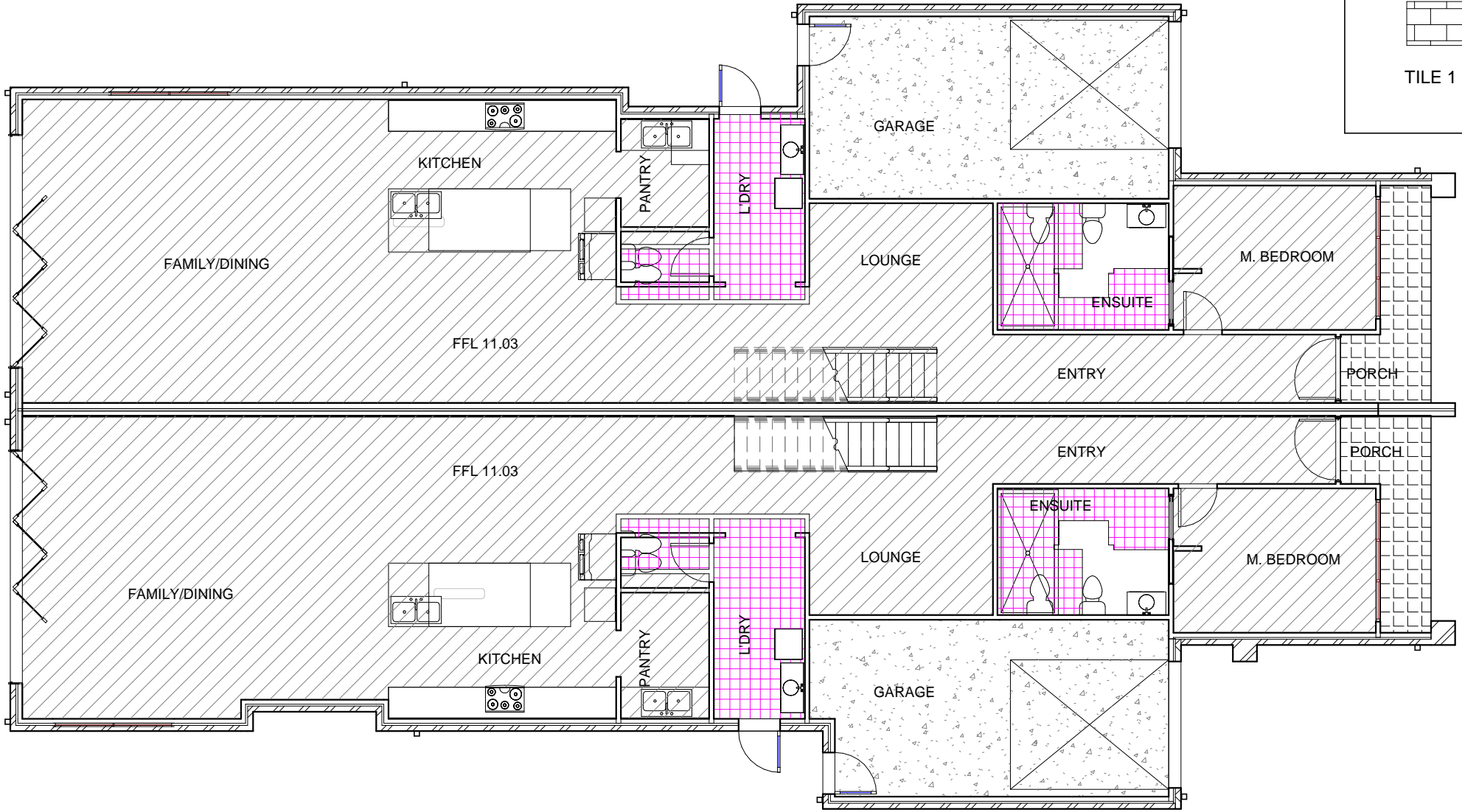
- GENERAL**
  - Written dimension take precedence over scale. DO NOT SCALE THE DRAWING.
  - This plans to be used in conjunction with engineering plans and other relevant documents during construction.
  - All building work is to be executed in a workmanlike manner in accordance with the latest issue of National Construction Code (NCC).
  - Materials must conform with the relevant building statutes.
  - All dimensions to be verified before commencement of any building work.
- EXCAVATION**
  - Excavate footings and drains as shown. keep excavations dry and backfill with approved materials free of any building debris.
- STORM WATER**
  - All storm water drains are to be connected to the Legal Point of Discharge.
  - DP denotes 100x50 Colourbond or galvanised downpipes at 12m centres.
  - All storm water drains to be 90mm min P.V.C., laid at a grade no less than 1:100.
- LEVELS**
  - Design levels shown are arbitrary datum and are to be used as a guide only. Owner / builder to check and verify on site to any work done.
  - All levels on drawings are nominal only and may adjust due to site conditions up to 50mm either way.
- CONCRETE**
  - All concrete footing and slab works shall comply with as 2870-2011 "RESIDENTIAL SLABS AND FOOTINGS" part 1: construction in the absence of engineer's drawings or computations.

REQUIREMENTS TO BE PROVIDED	
YES	TERMITE PROTECTION
NO	SOLAR BOOSTED HOT WATER
YES	WATER TANK TO BE CONNECTED TO W.C & RAIN WATER USE FOR FLUSHING
NO	RECYCLED WATER SYSTEM AS PER ESTATE REQUIREMENTS
YES	NBN SETUP AS PER ESTATE REQUIREMENTS
YES	CONDUIT FOR TELEPHONE LINE
NO	BUSH FIRE PRONE AREA
BUSH FIRE ATTACK LEVEL ASSESSMENT	
FIRE INDEX DANGER	N/A
VEGETATION TYPE	N/A
DISTANCE FROM SITE TO VEGETATION	N/A
SLOPE OF LAND	N/A
BUSH FIRE ATTACK LEVEL	N/A

SHADOW @ 3PM ON 22ND SEPT  
SCALE: 1:100

<p><b>CAD DESIGN AUSTRALIA</b> Web: www.caddesignaustralia.com.au Em: info@caddesignaustralia.com.au Ph: 0405 412 027 / 0404 256 757</p>	<p><b>PROJECT:</b> SIDE BY SIDE DOUBLE STOREY TOWNHOUSES</p> <p><b>ADDRESS:</b> 13 Kingsley Grove Mount Waverley</p> <p><b>CLIENTS:</b> Mr.Manjeet Singh &amp; Mrs. Karishma Daswani</p>	<p>These Drawing must not be scaled. Figured Dimensions take precedence It is the builders and all sub-contractor responsibilities to verify all dimensions levels and existing condition on site prior to commencement of any works and ordering of materials. Any discrepancies are to be reported to this office immediately.</p>	<p>These drawings shall not be altered in any form without the written permission from CDA. Copyright on these drawings and associated documentation is owned by CDA. Reproduction in part or in whole of these drawings and associated documentation without the permission of CDA will constitute an infringement of Copyright. Remedies for infringement of Copyright will be taken in accordance with the provision of the Copyright Act 1968.</p>	<p><b>DATE CREATED:</b> 13-12-2021</p> <table border="1"> <thead> <tr> <th>DATE REVISED:</th> <th>REVISED ITEM</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </tbody> </table>	DATE REVISED:	REVISED ITEM									<p><b>DRAWING TYPE:</b> WORKING DRAWINGS</p> <p><b>SCALE:</b> 1 : 200 @A3</p> <p><b>SHEET NAME:</b> SHADOW DIAGRAM</p> <p><b>JOB NO:</b>      <b>SHEET NO:</b>                          20 of 25</p>
	DATE REVISED:	REVISED ITEM													

		
COLOR CONCRETE	WOODEN FLOORING	CARPET
		
TILE 1	TILE 2	TILE 3



GROUND FLOOR FINISH  
SCALE: 1:100

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PROJECT:  
SIDE BY SIDE DOUBLE STOREY TOWNHOUSES

ADDRESS:  
13 Kingsley Grove Mount Waverley

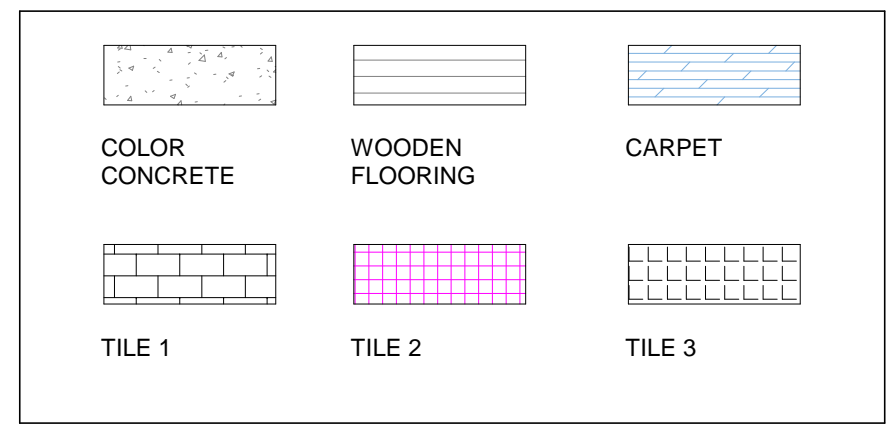
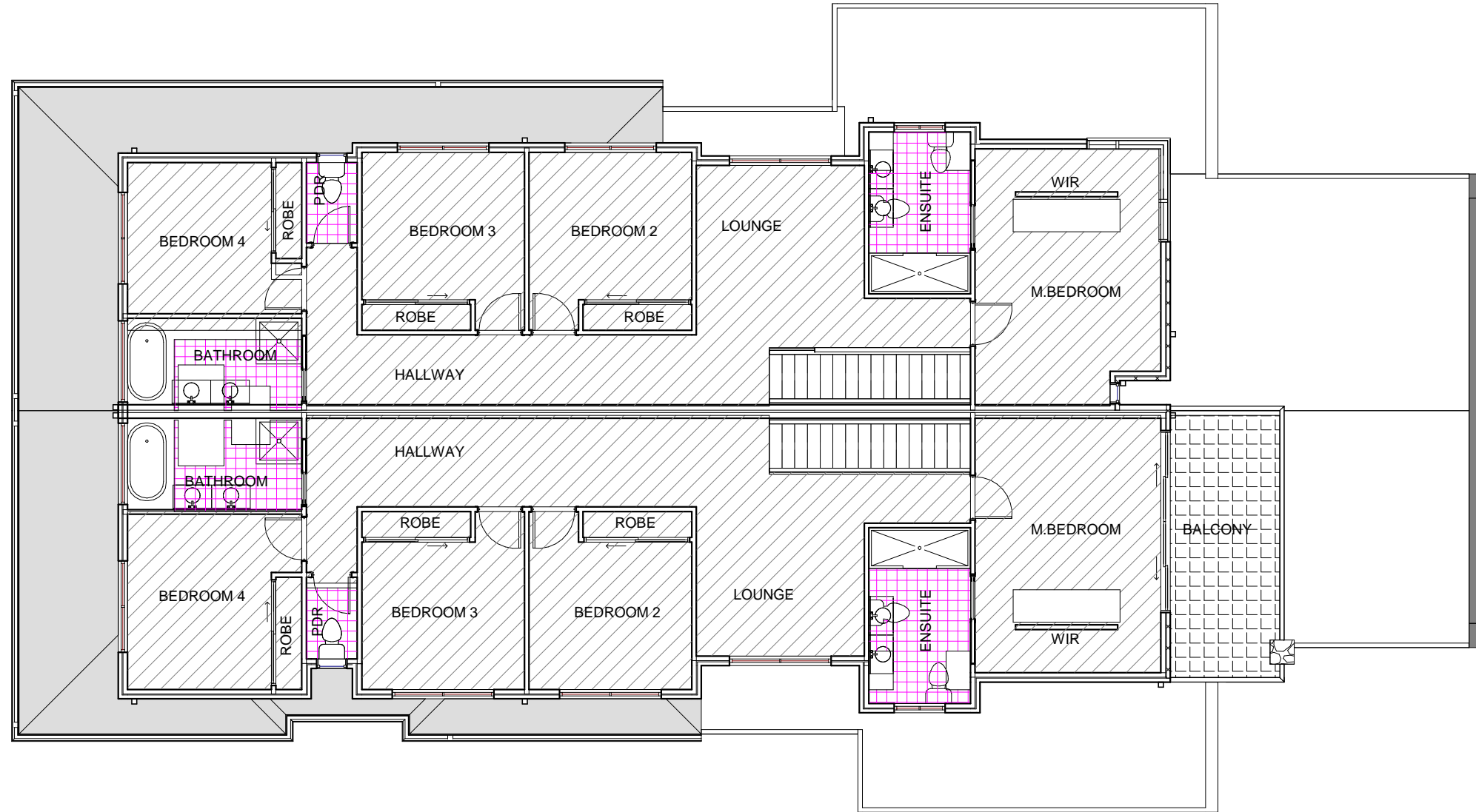
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DRAWING TYPE: WORKING DRAWINGS	
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JOB NO:	SHEET NO: 21 of 25



FIRST FLOOR FINISH  
SCALE: 1:100

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PROJECT:  
SIDE BY SIDE DOUBLE STOREY TOWNHOUSES

ADDRESS:  
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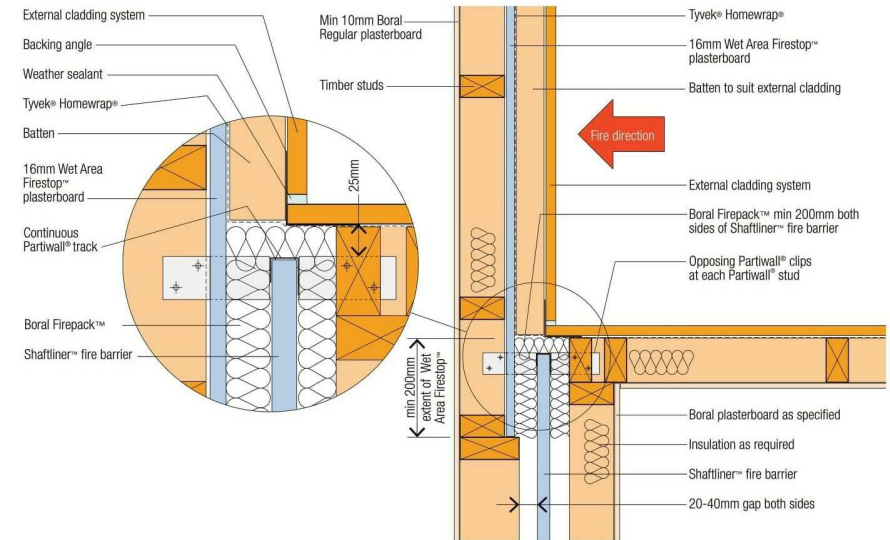
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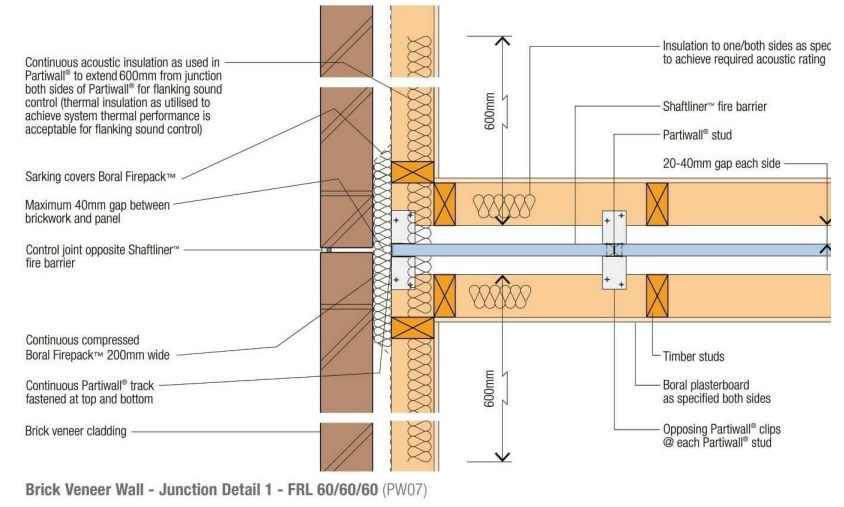
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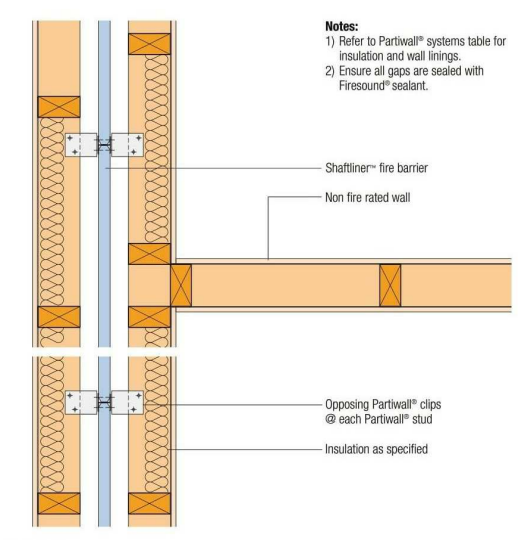
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JOB NO:	SHEET NO: 22 of 25



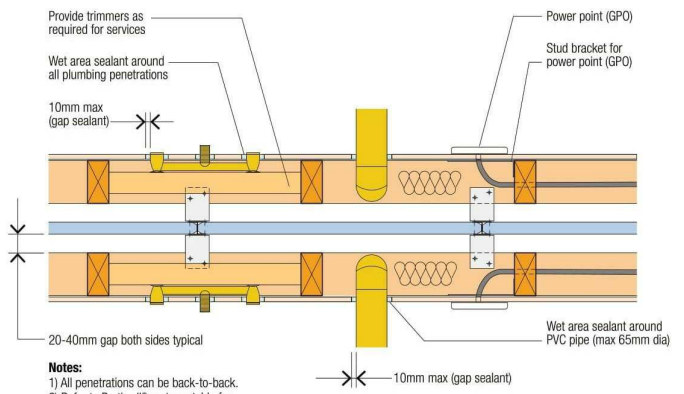
Partiwall® to OutRwall® - Transition Detail 2 - FRL 60/60/60 (PW06)



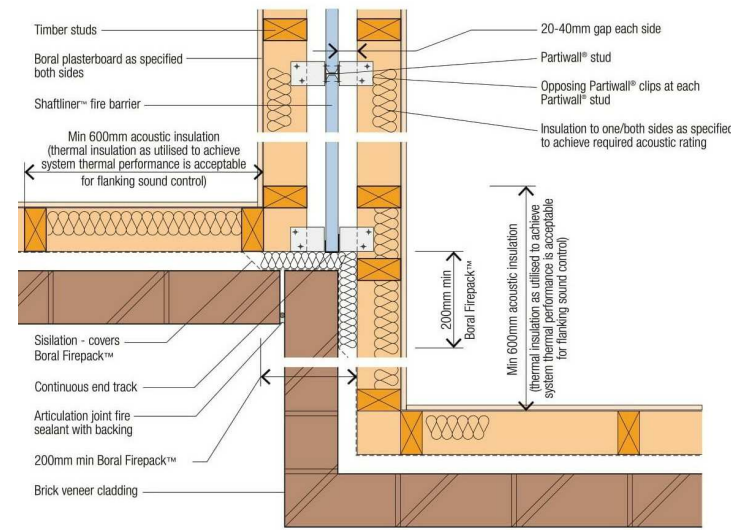
Brick Veneer Wall - Junction Detail 1 - FRL 60/60/60 (PW07)



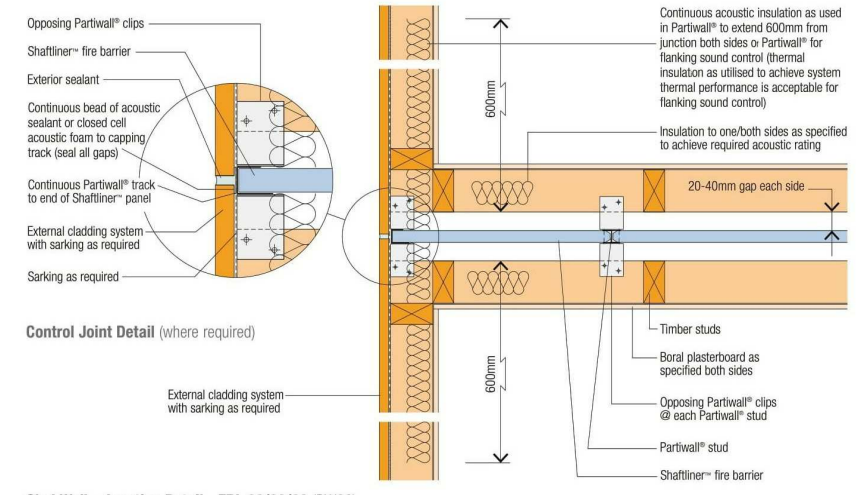
Internal Wall/Partiwall® Junction - FRL 60/60/60 (PW22)



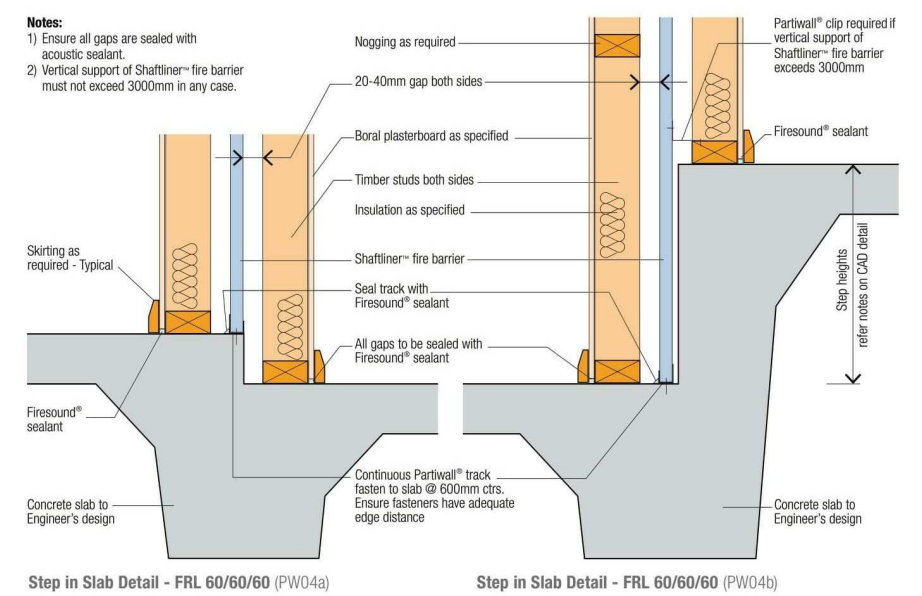
Wall Penetrations - Plan Details - FRL 60/60/60 (PW12)



Brick Veneer Wall Junction - Detail 2 - FRL 60/60/60 (PW08)



Clad Wall - Junction Detail - FRL 60/60/60 (PW09)



Step in Slab Detail - FRL 60/60/60 (PW04a)

Step in Slab Detail - FRL 60/60/60 (PW04b)

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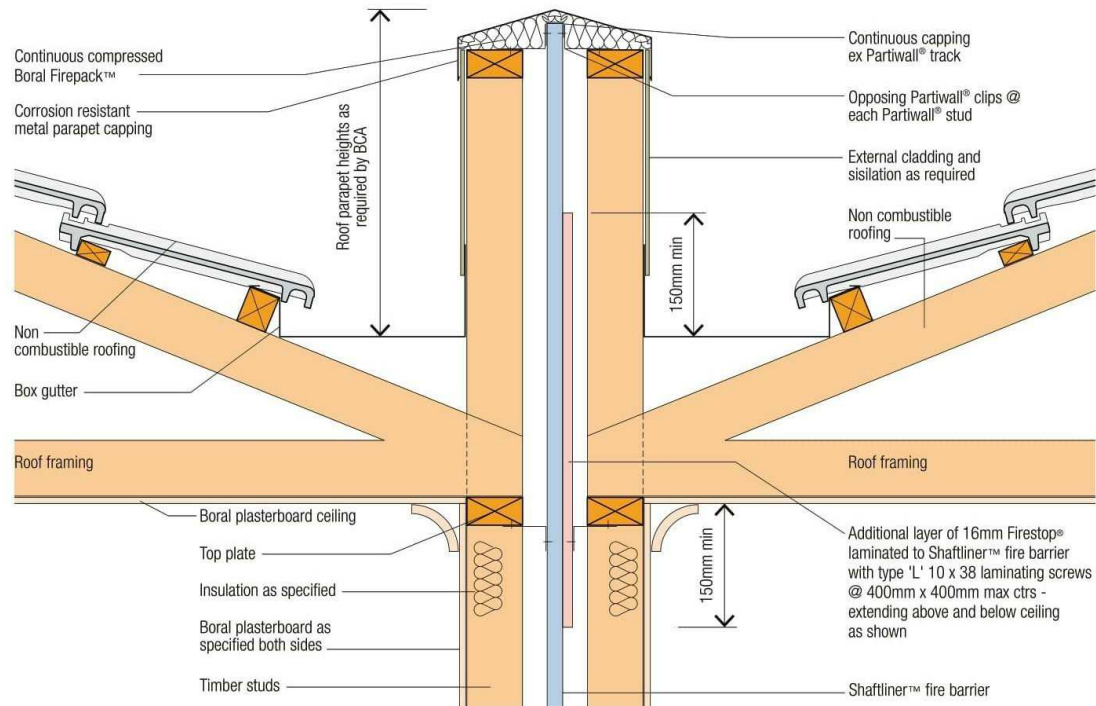
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 Ph: 0405 412 027 / 0404 256 757

PROJECT:  
**SIDE BY SIDE DOUBLE STOREY TOWNHOUSES**

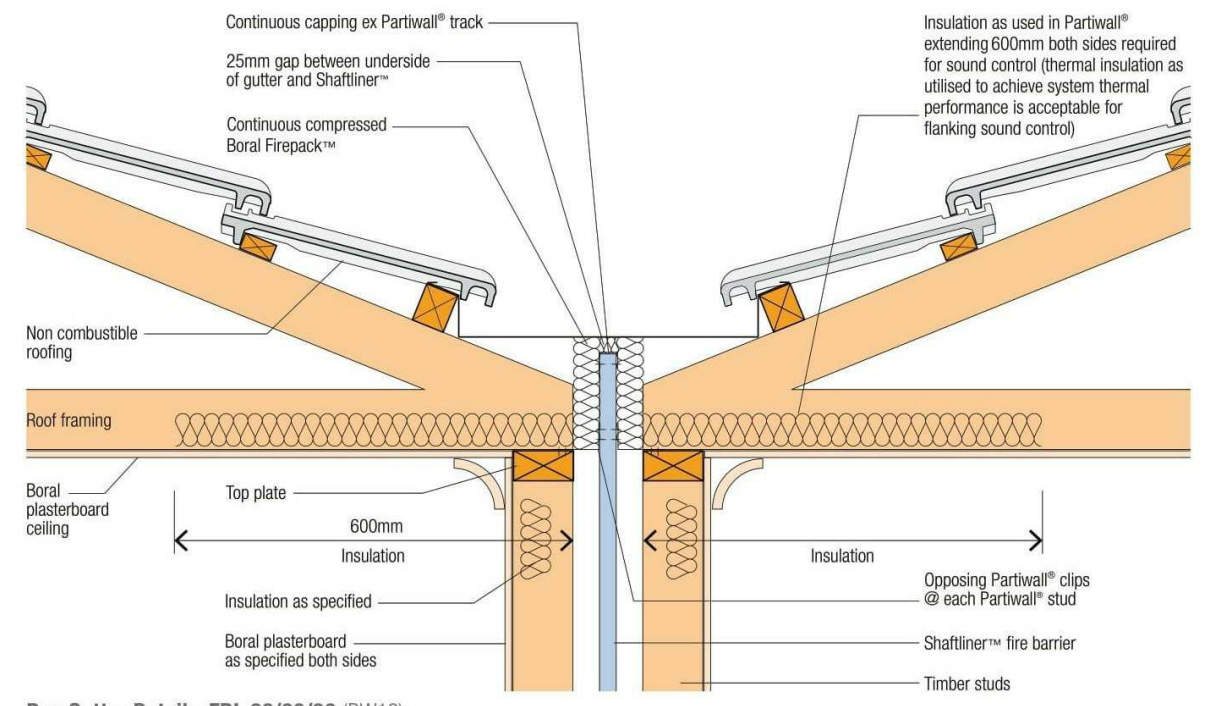
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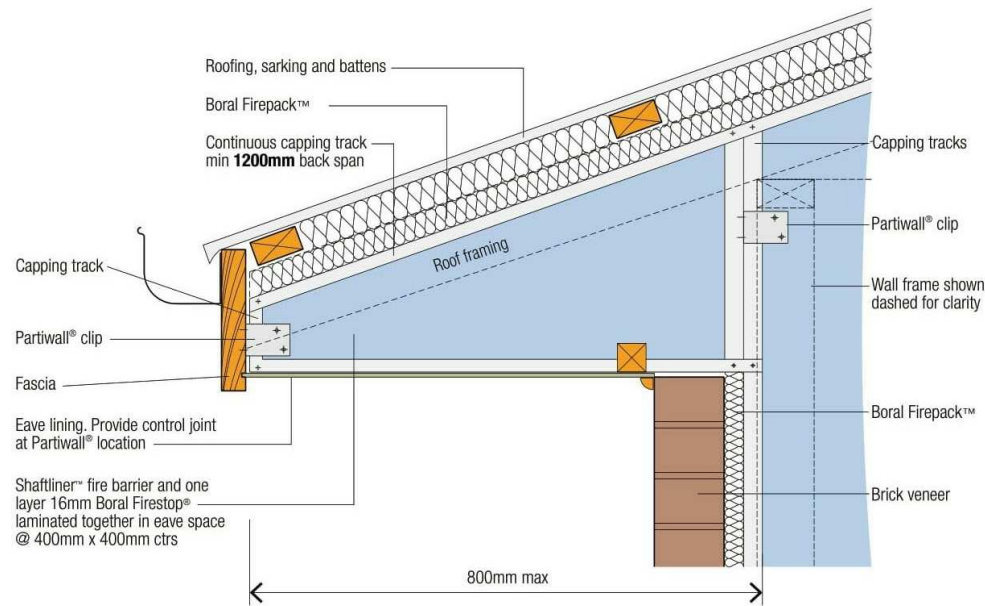
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		DATE REVISED:	REVISED ITEM	SCALE @ A3	
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		JOB NO:	SHEET NO: 23	of 25	
TOTAL:					



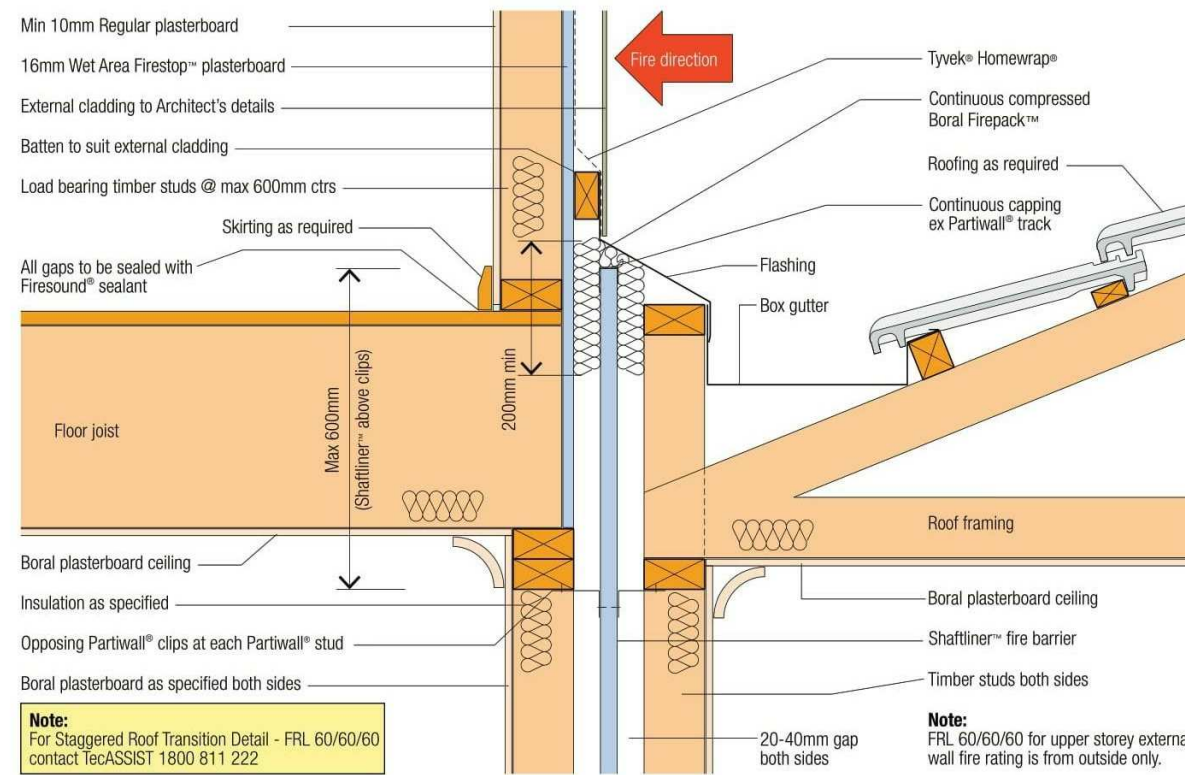
Roof Parapet - Junction Detail - FRL 60/60/60 (PW15)



Box Gutter Detail - FRL 60/60/60 (PW16)



Eave Closure Detail - FRL 60/60/60 (PW03)

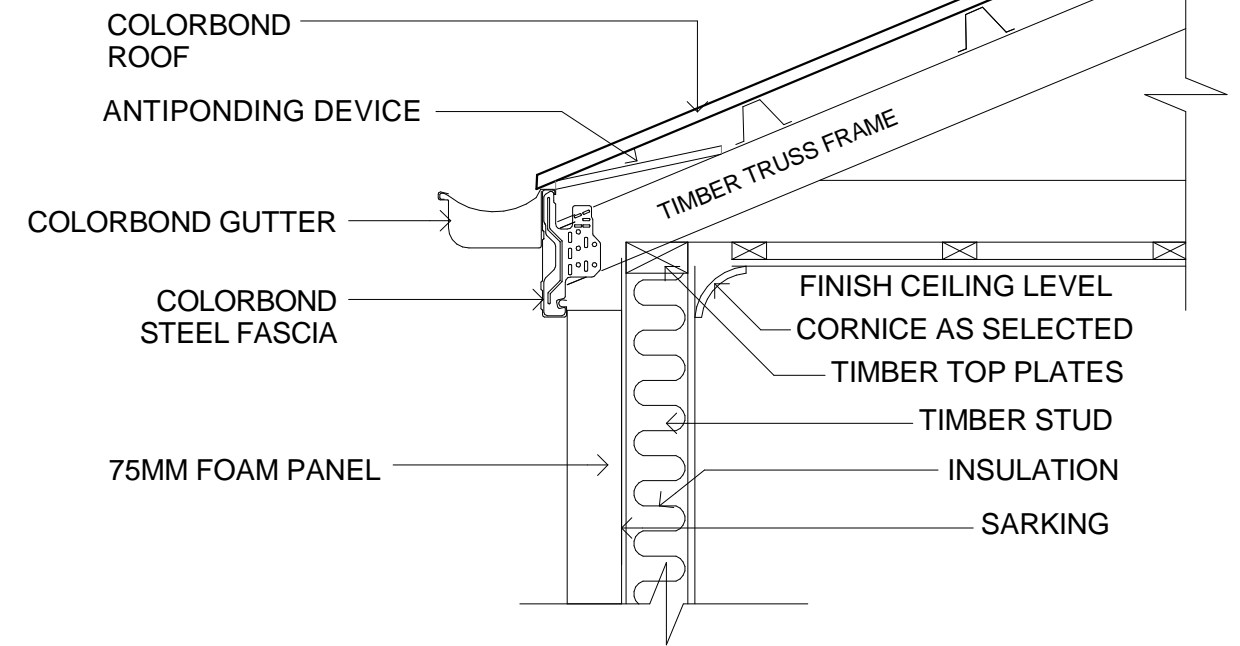
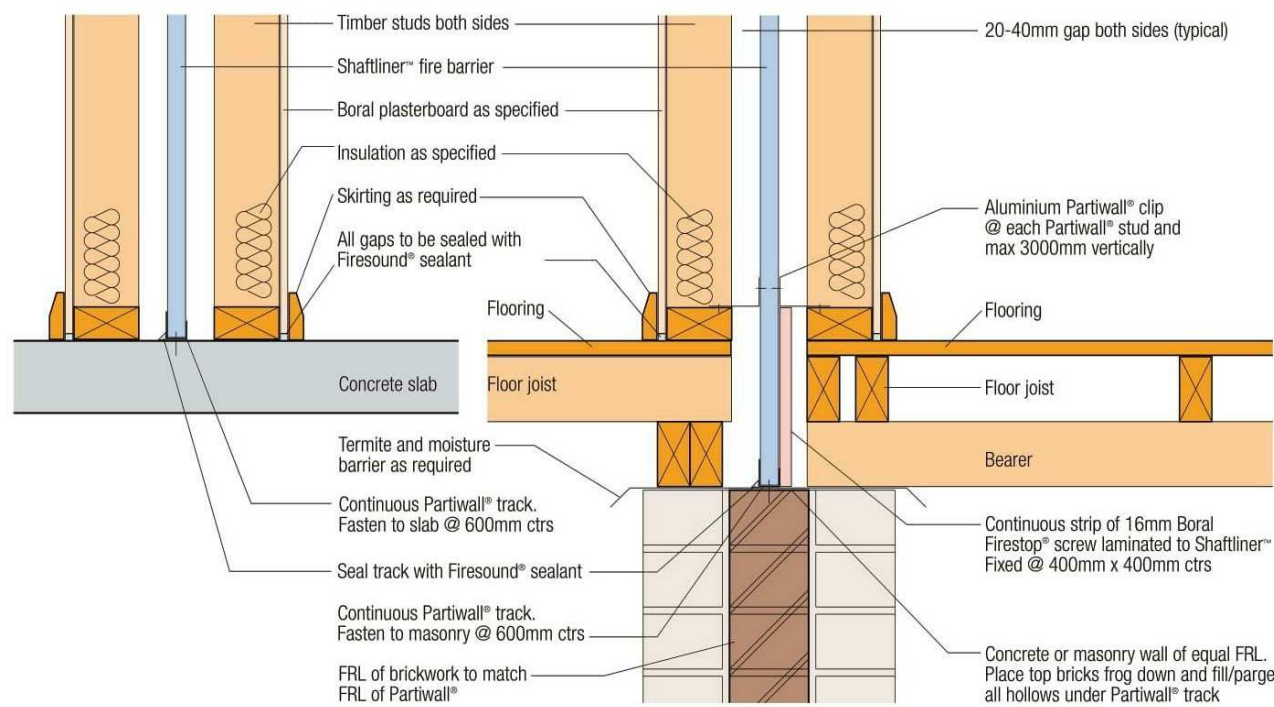


**Note:**  
For Staggered Roof Transition Detail - FRL 60/60/60 contact tecASSIST 1800 811 222

**Note:**  
FRL 60/60/60 for upper storey external wall fire rating is from outside only.

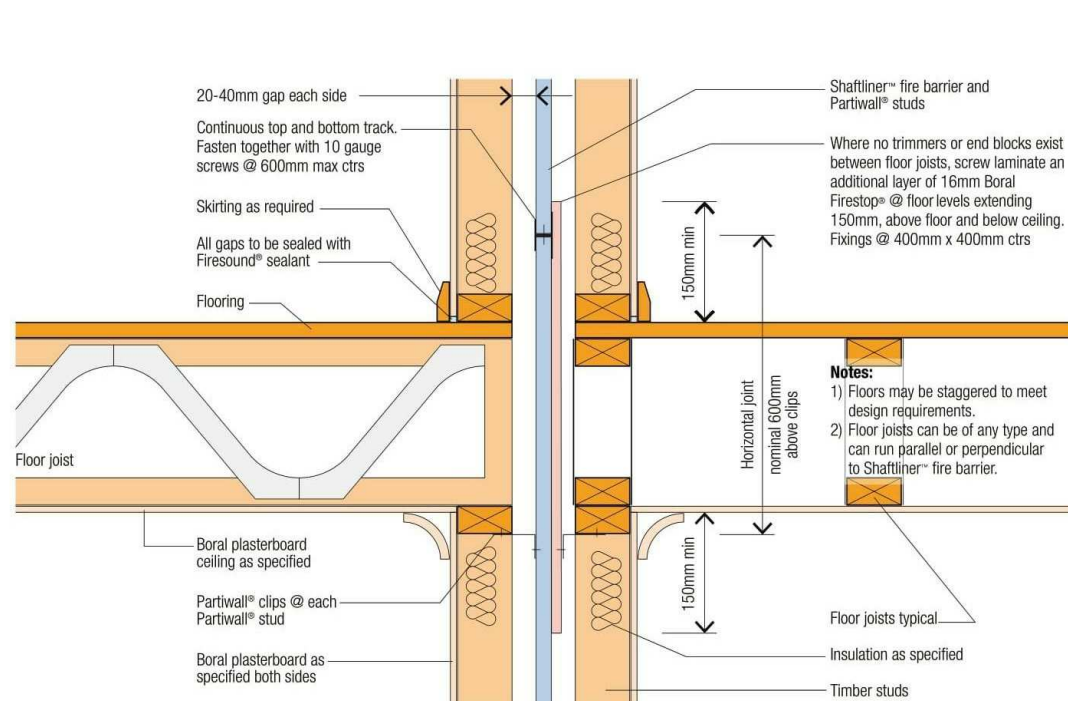
Partiwall® to OutRwall® - Transition Detail 1 - FRL 60/60/60 (PW05)

BUILDING AREA		DATE CREATED:	16/12/2020	DRAWING TYPE: CONSTRUCTION DRAWINGS	
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TOTAL:		JOB NO:	SHEET NO: 24 of 25		

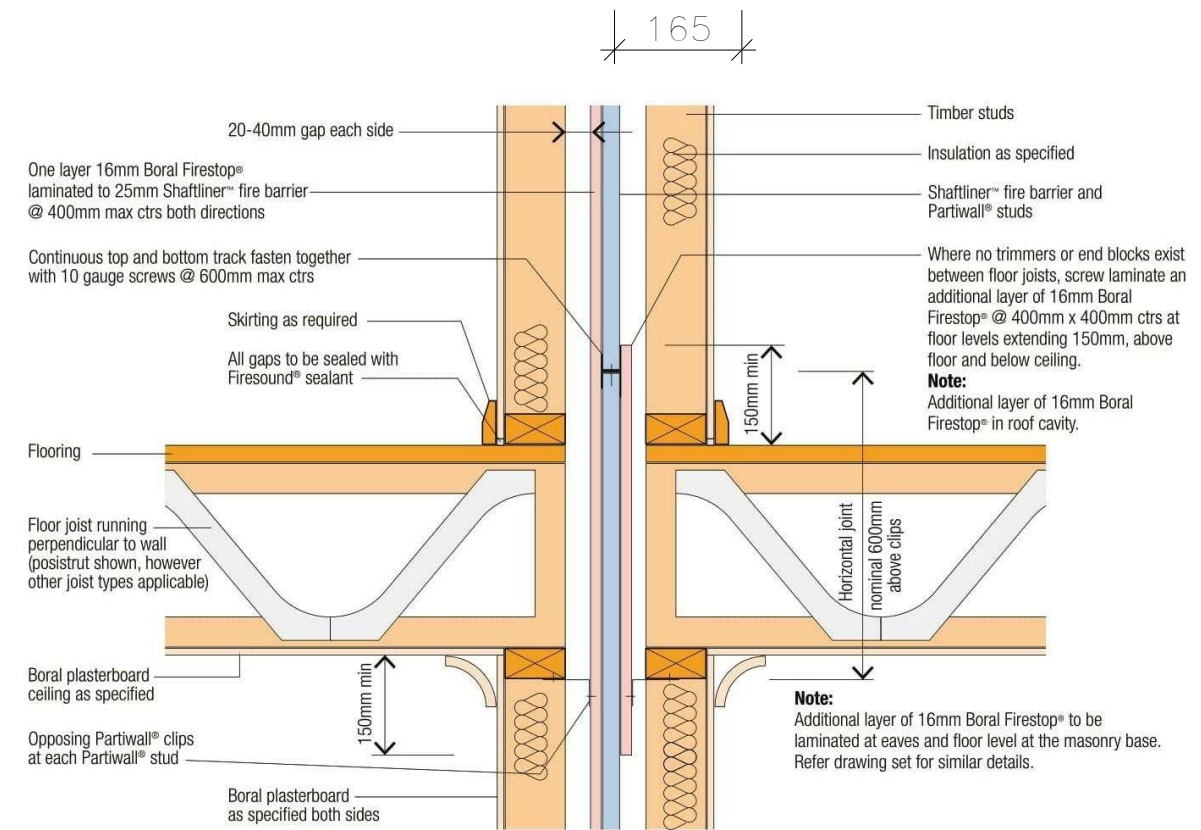


Concrete Base Detail - FRL 60/60/60 (PW02a)

Masonry Base Detail - FRL 60/60/60 (PW02b)



Typical Floor/Wall Junction - FRL 60/60/60 (PW01)



Typical Floor/Wall Junction - FRL 90/90/90 (PW17)